



AGENDA REPORT

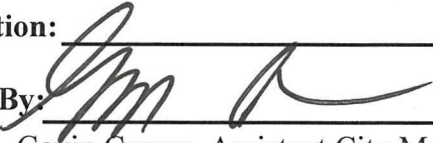
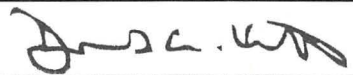
Study Session

Meeting Date
June 24, 2025

SUBJECT: FACILITIES MASTER PLAN WORKSHOP

RECOMMENDATION: It is recommended that the City Council:

1. Receive a presentation on the Facilities Master Plan;
2. Provide feedback and direction on the facility prioritization and recommendations; and
3. Identify any additional areas of analysis or issues requiring further review by the Facilities Master Plan Team.

Appropriation: _____ **Fund Name:** _____
Submitted By:  _____ **Approved:**  _____
Gavin Curran, Assistant City Manager Dave Kiff, City Manager

SUMMARY OF THE MATTER

The purpose of this workshop is to present the updated Facilities Master Plan (FMP) concepts for Group 1 and request City Council feedback on the proposed concepts, the overall project groupings, and the next steps for implementation. A complete list of the 26 facilities studied is provided in Attachment 1.

Multiple conceptual options were developed for each facility and shared with the public at the April 2025 Town Hall. Based on that input, Griffin Structures, in coordination with the Facilities Ad Hoc Committee that includes Mayor Rounaghi and Mayor Pro Tem Orgill, and City staff, identified preferred concepts that align with Council priorities and, in some cases, have available funding.

These concepts were then organized into three groups to provide a structured framework for evaluating near-term opportunities and long-term investment needs. Group 1 includes concepts that align most closely with Council priorities, community input, and available funding. Groups 2 and 3 represent longer-term improvements that may be phased in over time.

Staff is asking the City Council to review the groupings, provide feedback on the Group 1 concepts, and identify any areas needing further analysis. While the workshop will briefly touch on Groups 2 and 3, the primary focus is Group 1 projects that address public safety, core services, and community needs.

Feedback from this session will guide final refinements to the FMP, which is expected to return to Council for consideration in September.

DISCUSSION

Since the October 2024 Council workshop (Attachment 2) and approval of the Workshop Action Items in November 2024 (Attachment 3), Griffin Structures has worked to develop and refine the concepts in response to Council and community feedback. Community engagement, including the April 2025 Town Hall (Attachment 4), has been critical in shaping the concepts. Staff also wanted to acknowledge the leadership of Mayor Rounaghi and Mayor Pro Tem Orgill through the FMP Ad Hoc Committee.

Facilities Master Plan Workshop

June 24, 2025

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The FMP was developed in three distinct phases:

- **Phase 1:** Facility Condition Assessment (FCA) of 26 City-owned properties.
- **Phase 2:** Space needs analysis and planning for future service delivery.
- **Phase 3 (Current):** Development of improvement options, relocation strategies, and a project prioritization framework.

All FCA reports and concept materials are available on the City's website:

<https://www.lagunabeachcity.net/our-initiatives/facilities-master-plan>.

Prioritization Framework

To help guide the discussion, Griffin and City staff organized the FMP into three groups. Group 1 reflects City Council priorities, public safety needs, and projects with some available funding. Groups 2 and 3 present longer-term concepts intended for future planning and phased implementation.

Group 1: Public Safety, Core Services & Immediate Community Benefits

- Fire Station 1 Relocation
- Library Renovation
- Forum Theater ADA Improvements
- Lang Park Pickleball and Field Relocation
- CRC Gym, Parking, and Park with Housing Concept

Group 2: Public Safety Expansion & Strategic Facility Upgrades

- Fire Stations 2 and 3 Modernization
- Adaptive reuse of Fire Station 1 site & Renovation of PD/City Hall Buildings
- South Laguna Marine Safety Facility
- Corporation Yard Improvements
- Village/Arts District Parking and Housing Concepts

Group 3: Full Redevelopment & Civic/Cultural Investments (Funding Dependent)

- Redevelopment of Police Department and City Hall
- Comprehensive Lang Park Improvements
- Animal Shelter Expansion
- Susi Q Center Reconfiguration
- Festival of Arts / Playhouse Enhancements
- Lost Pier Enhancements

While concept costs are not directly comparable to repair estimates, they should be considered in the context of Facility Condition Assessment (FCA) data to support informed decision-making. For example, the estimated 3–5 year repair needs include:

Facility	Est. Cost 3-5 Years	Est. Cost 20 Years
Fire Station #1	\$2.9 million	\$6.5 million
Library	\$3.6 million	\$11.3 million
Lang Park	\$1.1 million	\$13.9 million

Potential Discussion Topics

The following questions are provided to help facilitate Council discussion. They are not intended to be comprehensive or directive. The questions are grouped according to the proposed project categories and designed to address high-level policy considerations and project-specific issues.

Overall Framework:

- Is the City Council generally supportive of the proposed three project groupings as a framework for phasing and prioritization?

Group 1: Public Safety, Core Services & Immediate Community Benefits

Fire Station 1:

- Is the City Council open to relocating Fire Station 1 to the Village Entrance?
- If so, how should the potential loss of public parking be addressed (e.g., structured parking, shared-use agreements)?

Library:

- Should improvements to the Library be limited to the \$4.2 million in available funding?
- Within that funding limit, should the focus be on preservation, modernization, or enhancing service delivery?

Forum Theater:

- Should ADA upgrades be the primary focus of improvements, or should the project also support expanded cultural programming?

Lang Park:

- What role should Lang Park play in recreation needs if other facilities are developed?
- Should improvement be coordinated with other facilities (e.g., the Community and Recreation Center)?

Community and Recreation Center:

- Is the Council open to incorporating housing at the Community and Recreation Center?
- If yes, how should recreation services be accommodated or relocated?

Next Steps

Following this Study Session, staff will incorporate Council feedback into the final version of the FMP. The final FMP is expected to be submitted to the City Council in September 2025.

FINANCIAL ANALYSIS

No additional appropriation is required at this time.

ENVIRONMENTAL ANALYSIS

The recommended action is not subject to the California Environmental Quality Act (CEQA) under Sections 15060(c)(2) and 15060(c)(3), as the Facilities Master Plan Study Session does not directly result in a physical change to the environment. Any projects identified in the FMP will undergo CEQA evaluation at the appropriate time.

ATTACHMENTS

1. List of facilities included in the Facilities Master Plan (Pg. 5)
2. October 22, 2024 Facility Master Plan Workshop Agenda Report
<https://www.lagunabeachcity.net/home/showpublisheddocument/20846/638699587447770000>
3. November 24, 2024, Facilities Master Plan Update
<https://www.lagunabeachcity.net/home/showpublisheddocument/20848/638699589466870000>
4. April 24, 2025 Town Hall Presentation and YouTube video
 - Facilities Master Plan Town Hall Agenda and Facility Concepts
<https://www.lagunabeachcity.net/home/showpublisheddocument/21912/638803029528670000>
 - Facilities Master Plan Town Hall Meeting YouTube
https://www.youtube.com/watch?v=4FrVRVTbU_Q
5. Facilities Master Plan Presentation prepared by Griffin Structures (Pgs. 3-34)

Report Prepared By:

Gavin Curran, Assistant City Manager

Coordinated With:

Griffin Structures

Facilities in the Facilities Master Plan

#	City Facility	Address	Type	Property Lease
1	City Hall	505 Forest Avenue	Building	
2	City Hall North	505 Forest Avenue	Building	
3	Police Station	505 Forest Avenue	Building	
4	Public Works	479 Ocean	Building	
5	Fire Station #1	501 Forest Avenue	Building	
6	Fire Station #2	285 Agate	Building	
7	Fire Station #3	2900 Alta Laguna	Building	
8	Fire Station #4	31646 2nd Avenue	Building	
9	Fire Station #4	31796 Coast Highway	Building	
10	Lifeguard Headquarters	99 Ocean Avenue	Building	
11	Corporation Yard	1900 Laguna Canyon Road	Building	
12	Laguna Beach Library	363 Glenneyre Street	Building	YES
13	Laguna Beach Community and Recreation Center	30516 Cost Highway	Building	
14	The Laguna Playhouse	606 Laguna Canyon Road	Building	YES
14	LB Community and Susi Q Center	380 Third Street	Building	
15	Animal Shelter	20612 Laguna Canyon Road	Building	
16	Lang Park Community Center	21540 Wesley Dr.	Building	YES
17	Forest/Laguna Canyon Lot	551 Forest Avenue	Village Entrance	
18	Employee Parking Lot E	650 Laguna Canyon Road	Village Entrance	
19	Lumberyard Lot	521 Forest Avenue	Village Entrance	
20	Festival of the Arts - Forum Theater	650 Laguna Canyon Road	Theater	YES
21	Festival of the Arts - Tennis Courts	650 Laguna Canyon Road	Tennis Courts	YES
22	Festival of the Arts - Irvine Bowl	650 Laguna Canyon Road	Theater	YES
23	Festival of the Arts - Exhibition	650 Laguna Canyon Road	City Park	YES
24	Festival of the Arts - Shops and Administration	650 Laguna Canyon Road	Building	YES
25	Hagan Place	480 Mermaid St.	Parking Lot	
26	Lost Pier Restaurant	31131 CA-1, PCH	Building	YES

Laguna Beach Facilities Master Plan

Strategic Facility Prioritization Update

June 24, 2025





Meeting Goals & Agenda

- Update Council on overall project status
- Present a strategy to guide project prioritization
- Highlight and focus on near-term priority projects
- Obtain feedback and direction



01.

Our Process



02.

**Summary
Overview**



03.

**Prioritization
into Groups**



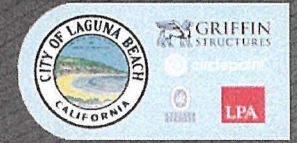
04.

**Group 1
Details**



05.

**Timeline &
Next Steps**



Our Process

This important undertaking will ultimately provide a framework allowing for the successful growth of City services, administration and community programs. The plan will be developed in cooperation with community organizations as well as Laguna Beach residents, in recognition of their passion for ensuring these community pillars are properly nurtured.



Outreach



Facility Condition Assessment



Programming



Planning



Implementation & Funding



Facilities Included in the Master Plan



Civic & Admin

- City Hall
- Corporation Yard
- Public Works Annex



Library



Public Safety

- Fire Stations 1-3
- Police Department
- Lifeguard Headquarters
- Animal Shelter



Parks & Recreation

- Community and Recreation Center (CRC)
- Community and Susi Q Center
- Lang Park Community Center



Leased Facilities

- Festival of Arts
- Laguna Playhouse
- Lost Pier Cafe



Parking Areas

- Lot 11 – Forest/Laguna Canyon
- Lot 12 – Lumberyard
- Lot E – City Hall Employees
- Hagan Place



Facilities Condition Assessment Summary

Facility Groupings	# of Facilities	Average Condition	Key Deficiencies	20-Year Maint. Need
Public Safety	6	Good	Seismic, HVAC, Plumbing, Water Seepage	\$54M
Civic & Admin	3	Fair - Good	Seismic, HVAC, Plumbing, Water Infiltration	\$65M
Library	1	Fair	Envelope, HVAC, Interior Finishes	\$12M
Parks & Recreation	3	Good-Excellent	HVAC, Fire Protection, Roof	\$86M
Leased Facilities	3	Fair - Good	Electrical, HVAC, Plumbing, ADA, Kitchen Equipment	\$93M
Parking Lots	3	Good	Routine Maintenance, Fire System	\$4M
Total	19	Good		\$314M



Facilities Space Needs Summary

Facilities	Current SF	Ideal SF	Surplus/ Shortfall	Notes
Police Department	16,953	34,310	-17,357	Support modern policing w/ flexible growth
Fire Department	17,339	28,066	-10,728	Support growing crews and modern apparatus needs
Marine Safety	5,978	8,328	-2,350	Add'l staff for south OC beaches and related support spaces
Library	11,269	15,500	-4,231	Future-ready environment
Parks & Recreation	69,468	53,633	15,835	Shift in CRC use strategy
City Hall / Public Works Yard	42,908	59,325	-16,417	Align w/ operational needs and evolving municipal functions
Leased Facilities	154,505	181,649	-27,144	Rehearsal, admin, set storage, and community art facilities
Parking Lots	N/A	N/A	N/A	
Total	318,420	380,811	-62,392	



Capital Improvement Budget Summary

Facilities	Cost Range
Police Department	\$27M—\$71M
Fire Department	\$43M—\$57M
Marine Safety	\$3M—\$10M
Library	\$7M—\$22M
Parks & Recreation	\$25M—\$88M
City Hall / Public Works Yard	\$38M—\$85M
Leased Facilities	\$43M—\$107M
Parking Lots	N/A
Total	\$186M—\$440M

*Based on today's dollars without escalation and on preliminary site/building information



Community Outreach Summary

Category	Feedback Overview
Public Safety	Safety services are a top community priority.
Community Facilities	Strong desire for enhanced family-friendly amenities at the Community Recreation Center and improved services at Susi-Q. The community also expressed interest in accommodations for affordable housing.
Festival Grounds & Art Community	Broad support for arts spaces, especially affordable workspaces and a Community Arts Center.
Library	Strong preference to keep the library at its current site, with structural, space, and parking improvements.
Animal Shelter	Support for expanded technology and emergency preparedness.
Parks & Recreation	Residents have a strong desire for a new community pool. They also advocate for repurposing the tennis courts at the Bowl and renovations to Lang Park.

Outreach Period:
May 2024 – April 2025

- Engagement Methods:
- Stakeholder Mtgs (8)
 - Pop-up events (3)
 - Town Hall (1)
 - Social Media
 - Web Site





Strategic Prioritization Overview



Group 1:
Foundational Public
Safety Core Services &
Immediate Community
Benefits



Group 2:
Public Safety Expansion +
Strategic Facility
Upgrades



Group 3:
Full Redevelopment &
Civic/Cultural Investments



Strategic Prioritization Overview

Group 1 : Foundational Public Safety Core Services & Immediate Community Benefits

These projects address urgent facility needs, safety requirements, ADA compliance, and visible community improvements.



- **Fire Station 1** – Urgent life safety facility
Estimated Budget: \$24M–\$27M
- **Library** – Central civic resource; aging infrastructure replacement using current funding
Estimated Budget: \$7M–\$22M
- **Forum Theater @ FOA Grounds (ADA Upgrades)**
Accessibility improvements using available funding
Estimated Budget: \$3M–\$4M
- **Lang Park “Light” Renovation (Pickleball Relocation)**
Accelerated recreation upgrade
Estimated Budget: \$6M–\$13M
- **Community And Rec Center (Gym + Residential)** Combines recreation and housing; high visibility and revenue opportunity
Estimated Budget: \$12M–\$14M

Total Group 1 Estimated Budget: \$52M-\$80M

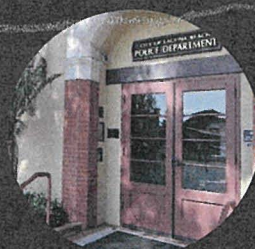
*Figures above shown in today's cost



Strategic Prioritization Overview

Group 2: Public Safety Expansion + Strategic Facility Upgrades

These projects improve emergency response, modestly enhance civic functions, and optimize city operations.



- **Fire Stations 2 and 3** – Modernize fire infrastructure; ensures citywide emergency coverage and operational continuity
Estimated Budget: \$19M–\$31M
- **City Hall / PD (Renovation) & Expansion/Infill** – Renovate existing FS 1 to ease City Hall and PD space constraints, demo/replace City Hall North w/ 2-story building and infill PD Courtyard
Estimated Budget: \$48M–\$73M
- **Marine Safety Headquarters** – Build South Laguna facility to enhance lifeguard operations and emergency response
Estimated Budget: \$3M–\$10M
- **Corporation Yard** – Supports field operations and adds critical parking
Estimated Budget: \$14M–\$17M
- **Village Entrance District Parking / Housing** – Add parking or combined parking/housing
Estimated Budget: \$TBD (based on public private partnership)

Total Group 2 Estimated Budget: \$84–\$131M

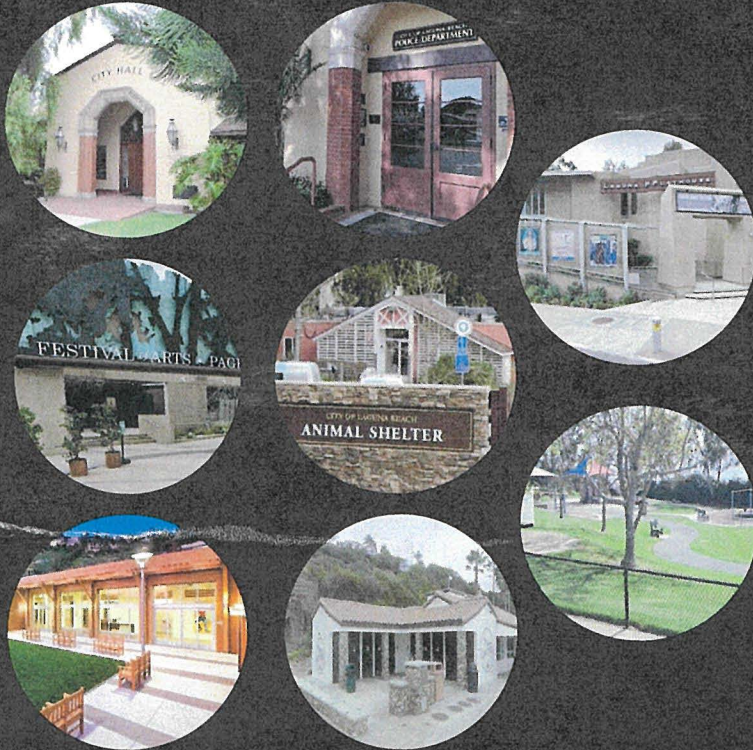
*Figures above shown in today's cost



Strategic Prioritization Overview

Group 3: Full Redevelopment and Civic/Cultural Investments

Full-scale transformations or community enrichment opportunities that can be pursued as funding or partnerships allow.



- **City Hall / PD (Full Redevelopment)** – Long-term solution for administrative and public safety needs
Estimated Budget: \$115M–\$135M
- **Lang Park “Heavy” Redevelopment** – Comprehensive park and facility rebuild
Estimated Budget: \$40M–\$73M
- **Animal Shelter** – Supports additional humane services
Estimated Budget: \$3M–\$4M
- **Susi Q Center** – Reconfigure senior services
Estimated Budget: \$1M–\$2M
- **Festival of Arts** – Cultural asset improvements
Estimated Budget: \$25M–\$59M
- **Laguna Playhouse** – Iconic theater enhancement
Estimated Budget: \$40M–\$47M
- **Lost Pier** – Recreation and coastal experience opportunity
Estimated Budget: N/A

Total Group 3 Estimated Budget: \$224M–\$320M

*Figures above shown in today’s cost

Group 1 Detail – Project Spotlight

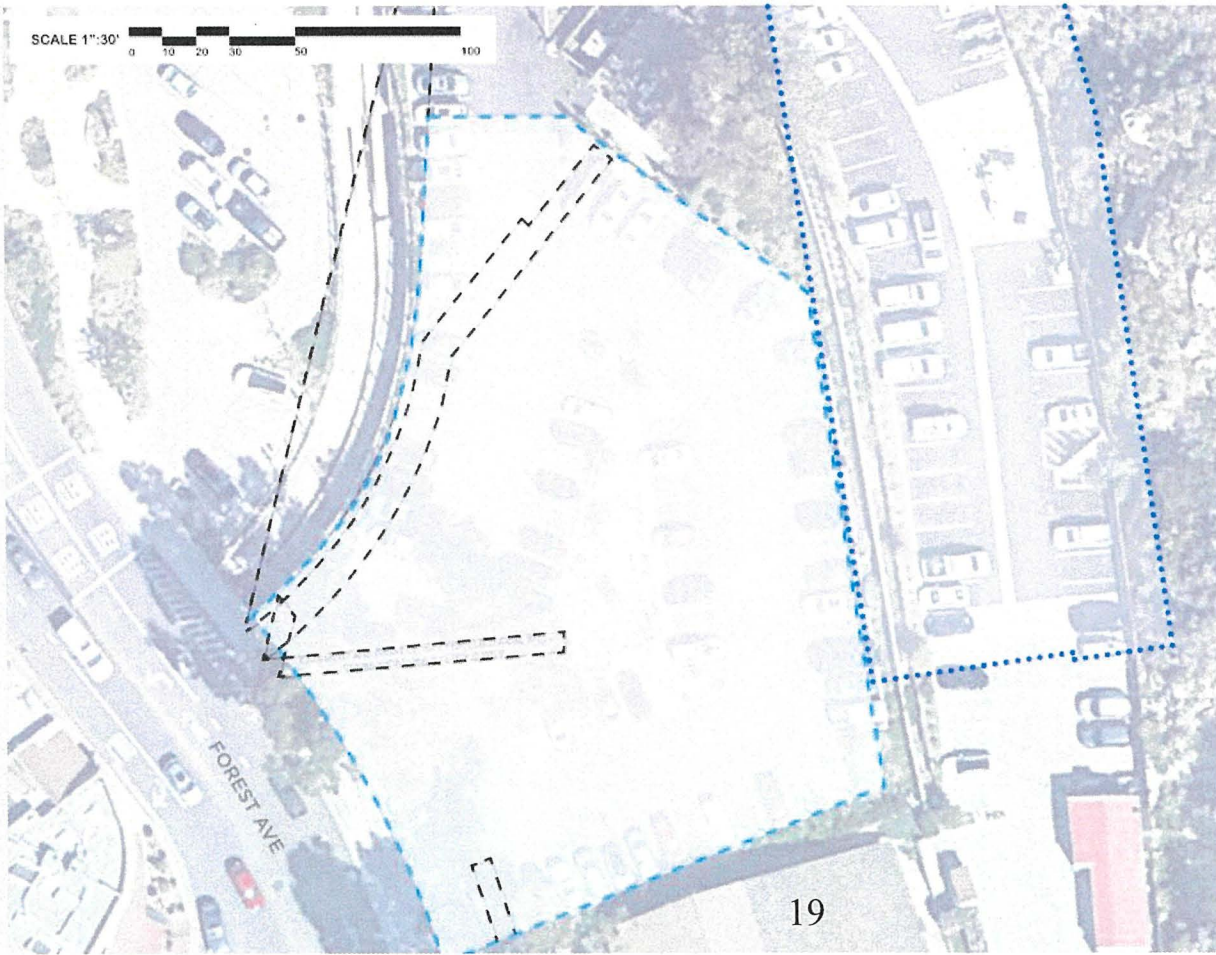


Foundational Public Safety Core Services & Immediate Community Benefits

These projects address urgent facility needs, safety requirements, ADA compliance, and visible community improvements.



Group 1 Details: Fire Station 1



PLAN EXISTING

LEGEND

- - - - Proposed site area for Fire Administration & Fire Station 1
- - - - Easements
- Line of proposed parking structure
- Fire Station 1 Program
- Administration Program

NOTES

- Zoning analysis was not developed for this site. The following exhibit was created to show extents of space needed to meet programmatic requirements.



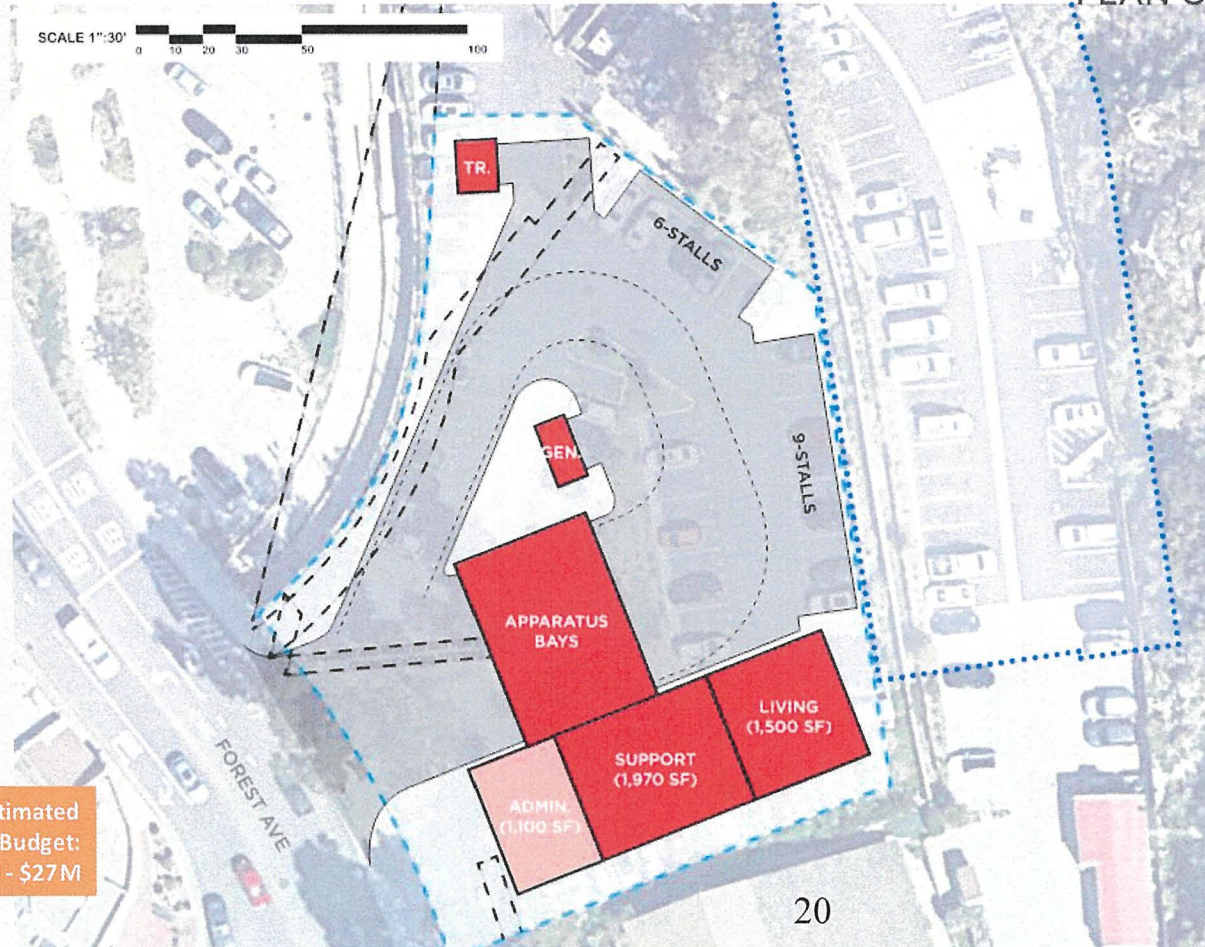


Group 1 Details: Fire Station 1

EXCELLENCE IN PROJECT DELIVERY



PLAN OPTION - A (LEVEL-1)



LEGEND

- Proposed site area for Fire Administration & Fire Station 1
- Easements
- Line of proposed parking structure
- Fire Station 1 Program
- Administration Program

TABULATIONS

Building	
• Program area	11,670 GSF
• Provided area	11,670 GSF
1st level	7,070 GSF
2nd level	4,600 GSF

Parking provided on-site	
• Program secure	25
• Provided secure	15
• Program visitor	2
• Provided visitor	0
• Remaining parking to be provided in future parking structure	

NOTES

- 3 apparatus bays
- 2-story building
- Includes fire administration space
- Approximately 3,330 GSF 3rd level can be added for EOC (would exceed height limit)

Estimated Budget:
\$24M - \$27M



CITY OF LAGUNA BEACH FACILITIES MASTER PLAN
Fire Administration & Fire Station 1





Group 1 Details: Forum Theater (ADA Upgrades)



SCALE 1"=75'
0 25 50 75 150



PLAN EXISTING

LEGEND

- - - Site Area
- Existing Structure

TABULATIONS

- Irvine Bowl
- Forum Theater
- Exhibition Shelter
- Scene Shops
- Shops & Admin

Parking existing on-site

• Staff & visitor	10
• Playhouse	53

NOTES

- Forum currently does not meet ADA requirements due to patron circulation issues
- Irvine Bowl currently does not meet ADA requirements due to vertical circulation issues at the actors' stage area
- Zoning analysis was not developed for this site. The following exhibit was created to show extents of space needed to meet programmatic requirements.



Group 1 Details: Forum Theater (ADA Upgrades)

EXCELLENCE IN PROJECT DELIVERY



CITY OF LAGUNA BEACH FACILITIES MASTER PLAN
Festival of Arts

SITE PLAN OPTION - D

SCALE 1"=75'
0 25 50 75 150



- LEGEND**
- - - Site Area
 - Existing Structure
 - ADA Updates Required
 - New FOA Program
 - Existing Tennis Courts

TABULATIONS

ADA Expansion #1	
• Provided area	900 SF
ADA Expansion #2	
• Provided area	1,700 SF

- NOTES**
- For ADA expansions, noted SF is general amount, not exact. Further investigation needed to determine exact SF.
 - Irvine bowl stage building expanded to include vertical circulation for actors to meet ADA requirements
 - Forum expanded to add patron circulation to meet ADA

Estimated Budget: \$3M - \$4M





Group 1 Details: Library Option A - Aligned with Available Funding

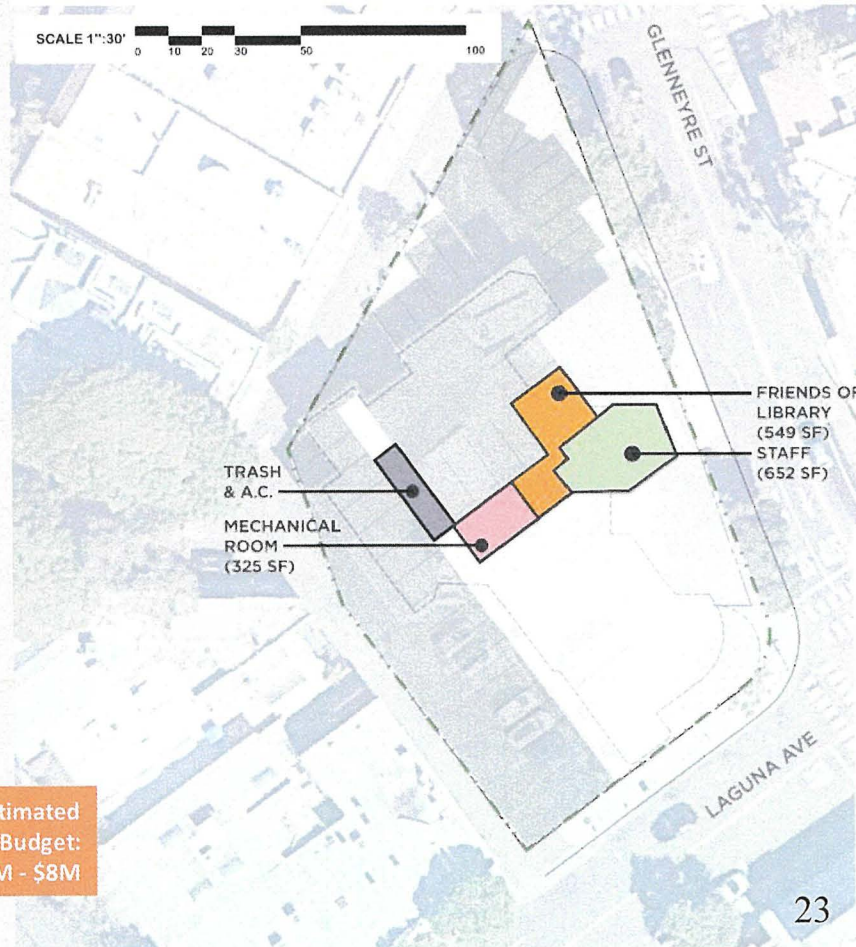
EXCELLENCE IN PROJECT DELIVERY



CITY OF LAGUNA BEACH FACILITIES MASTER PLAN
Library



PLAN OPTION - A (LEVEL-1)



LEGEND

- Site Area
- Line of Existing Building Footprint
- Existing Structure

TABULATIONS

Building	
• Existing area	11,269 SF
• Program area	15,500 SF
• Provided area	11,269 SF
1st level	1,769 SF
2nd level	9,500 SF
• Net gain	0 SF

Parking existing on-site	
• Program	38
• Staff & visitor	34

NOTES

- No change to building footprint or parking count
- Update finishes throughout
- Chamber of Commerce program to move out of Library
- Staff program added

Library Program

- Entry & Marketplace
- Library Program Space
- Group Study & Collab
- Adult
- Children's
- Teen
- Staff
- Friends of the Library
- Support

Estimated Budget: \$7M - \$8M



Group 1 Details: Library Option A - Aligned with Available Funding

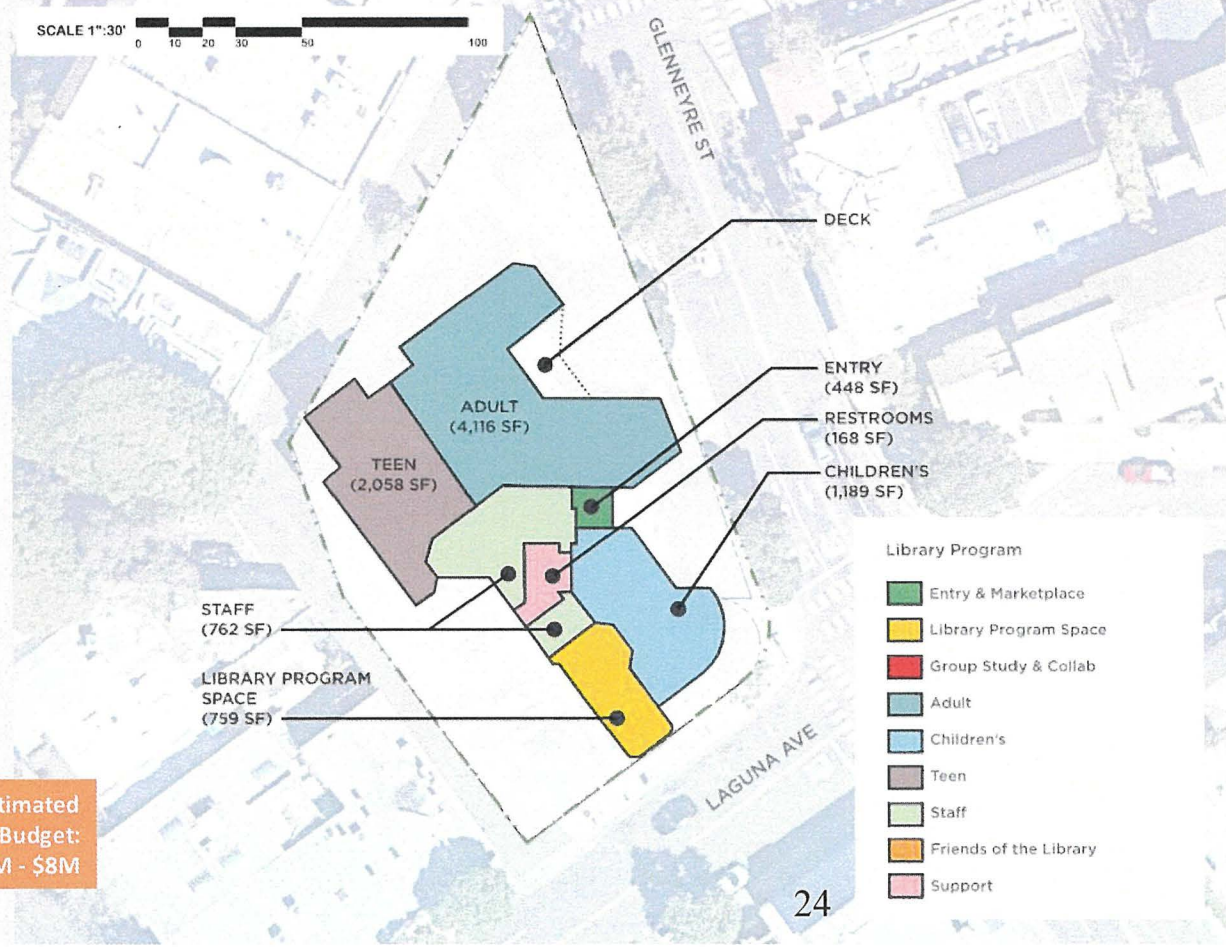
EXCELLENCE IN PROJECT DELIVERY



CITY OF LAGUNA BEACH FACILITIES MASTER PLAN
Library

LPA

PLAN OPTION - A (LEVEL-2)



- Library Program
- Entry & Marketplace
 - Library Program Space
 - Group Study & Collab
 - Adult
 - Children's
 - Teen
 - Staff
 - Friends of the Library
 - Support

LEGEND

- Site Area
- Line of Existing Building Footprint
- Existing Structure

TABULATIONS

Building	
• Existing area	11,269 SF
• Program area	15,500 SF
• Provided area	11,269 SF
1st level	1,769 SF
2nd level	9,500 SF
• Net gain	0 SF

NOTES

- No change to building footprint
- Update finishes throughout
- Community room improvements
- Stack reconfiguration in main collections and children's
- Teen collections added
- Restroom reconfiguration

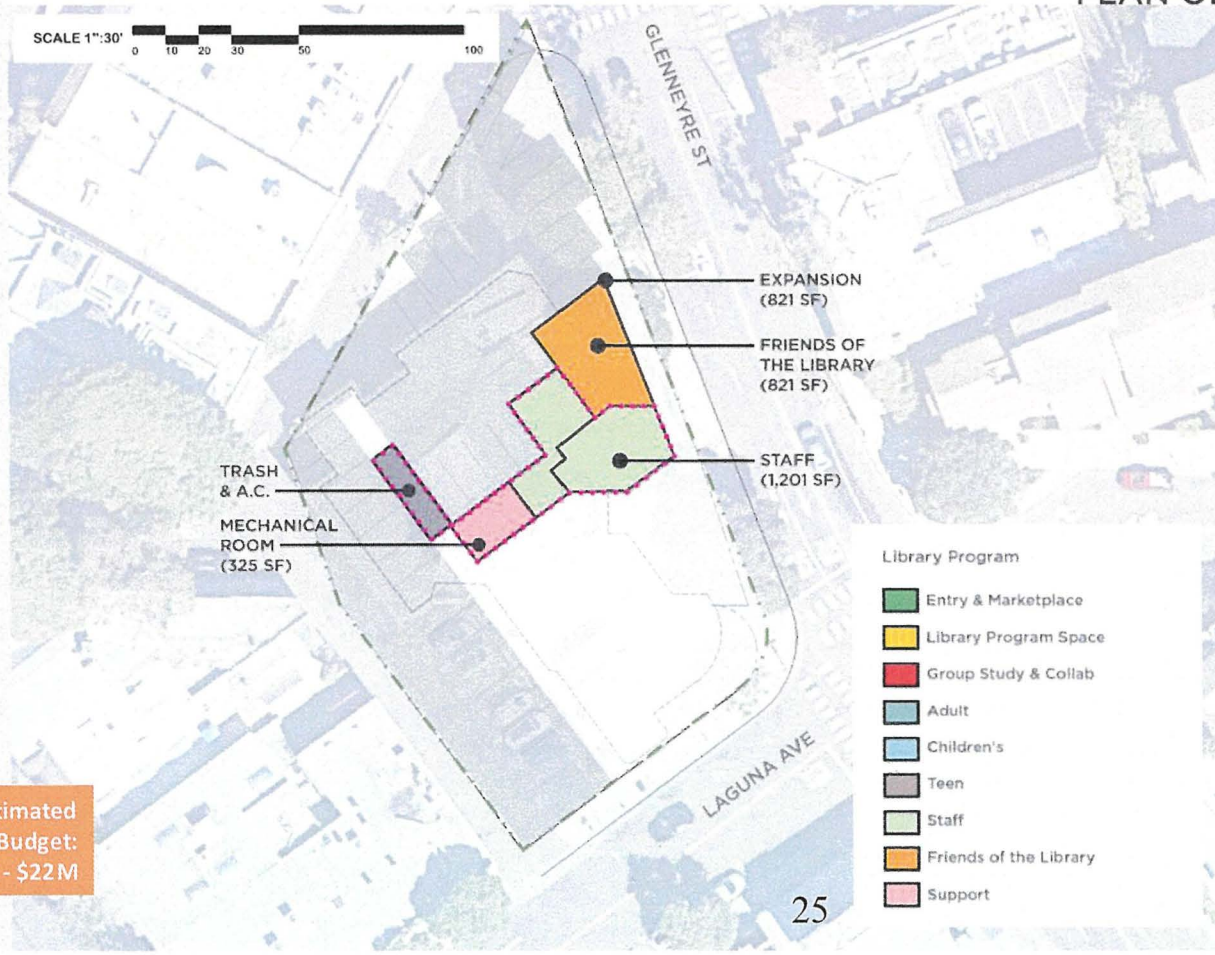
Estimated Budget: \$7M - \$8M



Group 1 Details: Library Option B – Aspirational / Multigenerational



PLAN OPTION - B (LEVEL-1)



LEGEND

- Site Area
- Line of Existing Building Footprint
- Existing Structure

TABULATIONS

Building	
• Existing area	11,269 SF
• Program area	15,500 SF
• Provided area	13,420 SF
1st level	2,590 SF
2nd level	10,650 SF
• Net gain	
	1,971 SF
Parking existing on-site	
• Program	45
• Staff & visitor	34

NOTES

- 821 GSF added to parking level
- Friends moved into expansion
- No change to parking count
- Move some staff area to lower parking level
- Chamber of Commerce program to move out of Library

Library Program

- Entry & Marketplace
- Library Program Space
- Group Study & Collab
- Adult
- Children's
- Teen
- Staff
- Friends of the Library
- Support

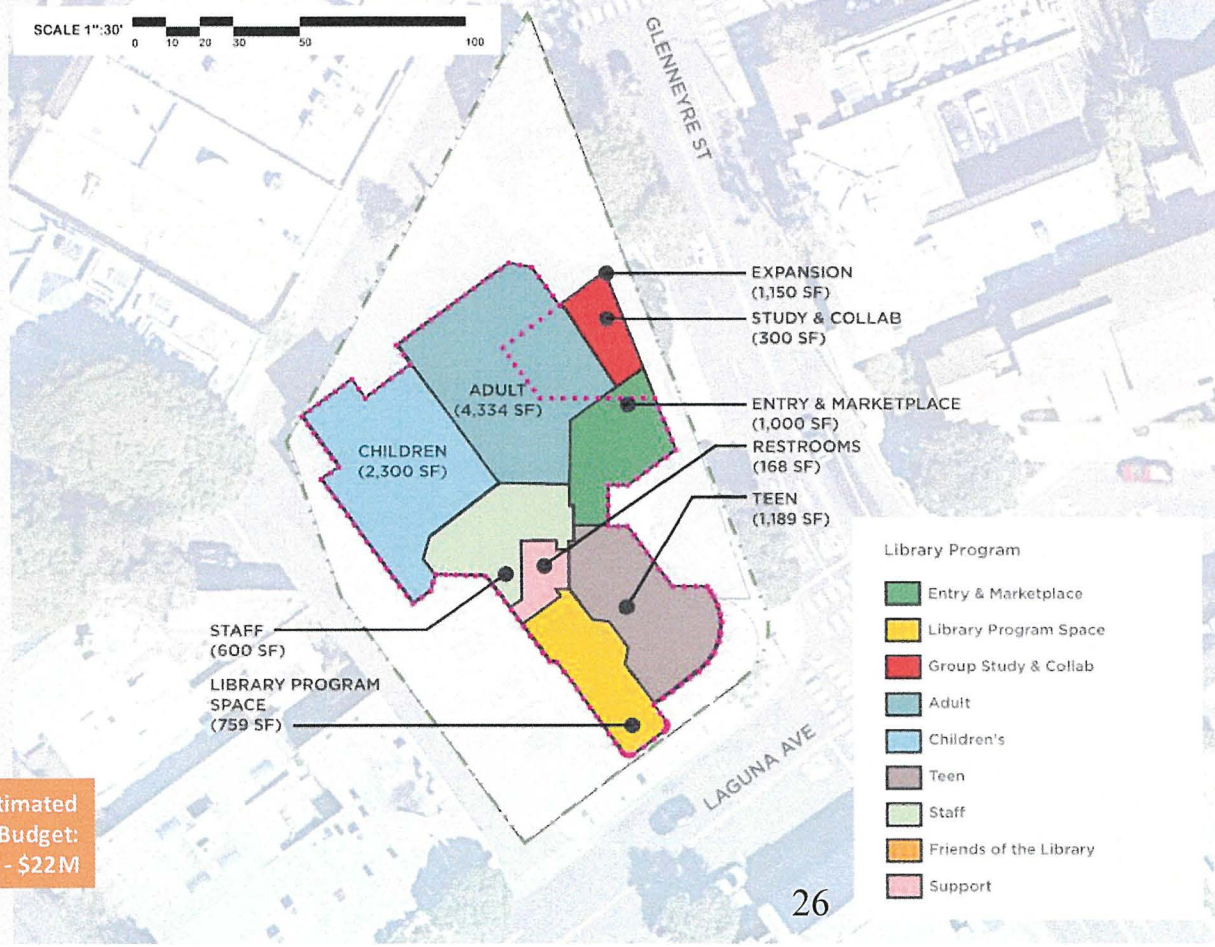
Estimated Budget: \$20M - \$22M



Group 1 Details: Library Option B – Aspirational / Multigenerational



PLAN OPTION - B (LEVEL-2)



- LEGEND**
- Site Area
 - Line of Existing Building Footprint
 - Existing Structure

TABULATIONS

Building	
• Existing area	11,269 SF
• Program area	15,500 SF
• Provided area	13,420 SF
1st level	2,590 SF
2nd level	10,650 SF
• Net gain	1,971 SF

- NOTES**
- 1,150 GSF added to main level
 - Stack reconfiguration in main collections and children's
 - Teen collections added
 - Study & collage aded
 - Staff program partially moved downstairs
 - Restroom reconfiguration
 - Entry and marketplace reconfiguration
 - Elevator will be needed to tie staff floors together

- Library Program**
- Entry & Marketplace
 - Library Program Space
 - Group Study & Collab
 - Adult
 - Children's
 - Teen
 - Staff
 - Friends of the Library
 - Support

Estimated Budget: \$20M - \$22M

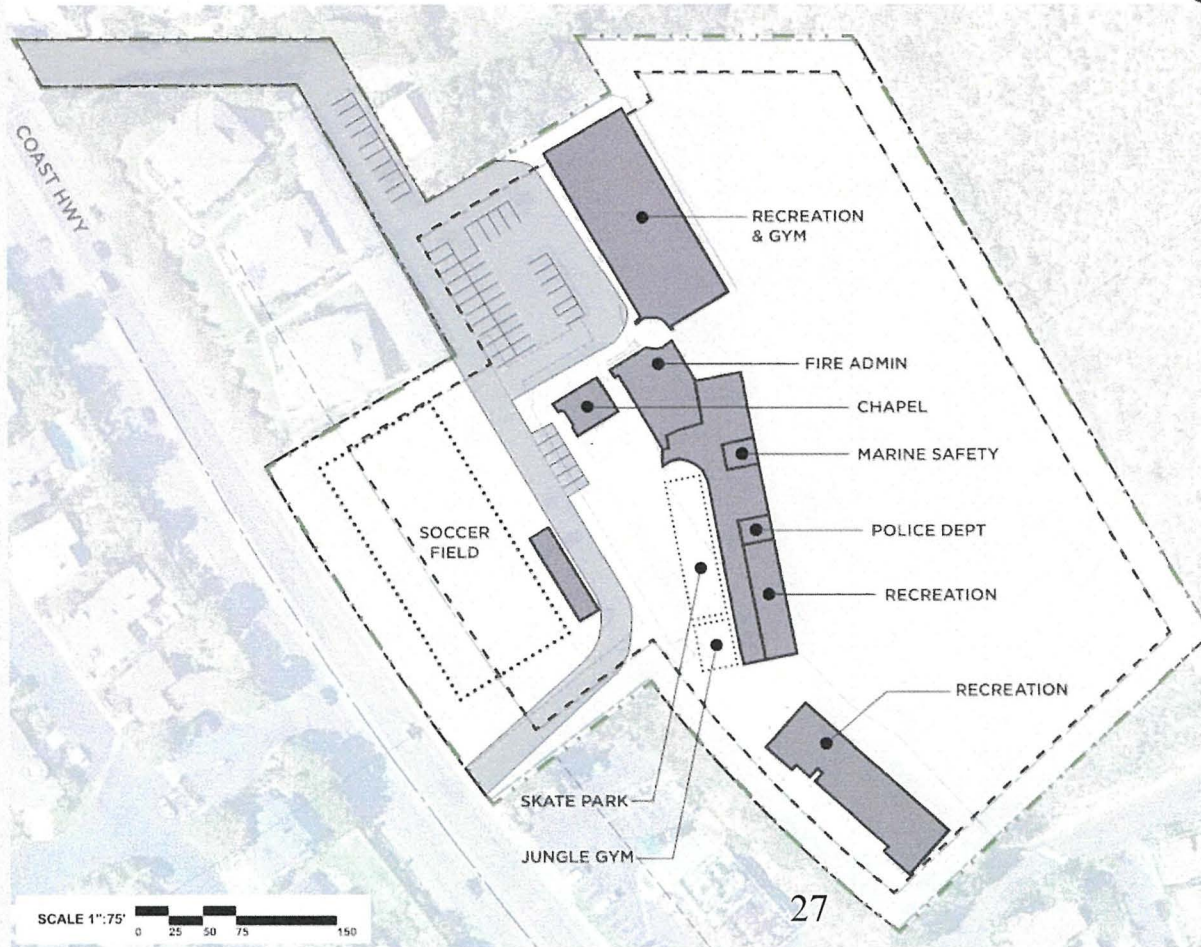




Group 1 Details: CRC



SITE PLAN EXISTING



LEGEND

- . . - Site Area
- - - - - Setback
- █ Existing Structure

TABULATIONS

Chapel	1,047 SF
Gym	12,254 SF
Admin & Elementary	17,100 SF
Middle School	5,864

Parking existing on-site
 • Staff & Visitor 47

NOTES

- Zoning analysis was not developed for this site. The following exhibit was created to show extents of space needed to meet programmatic requirements.

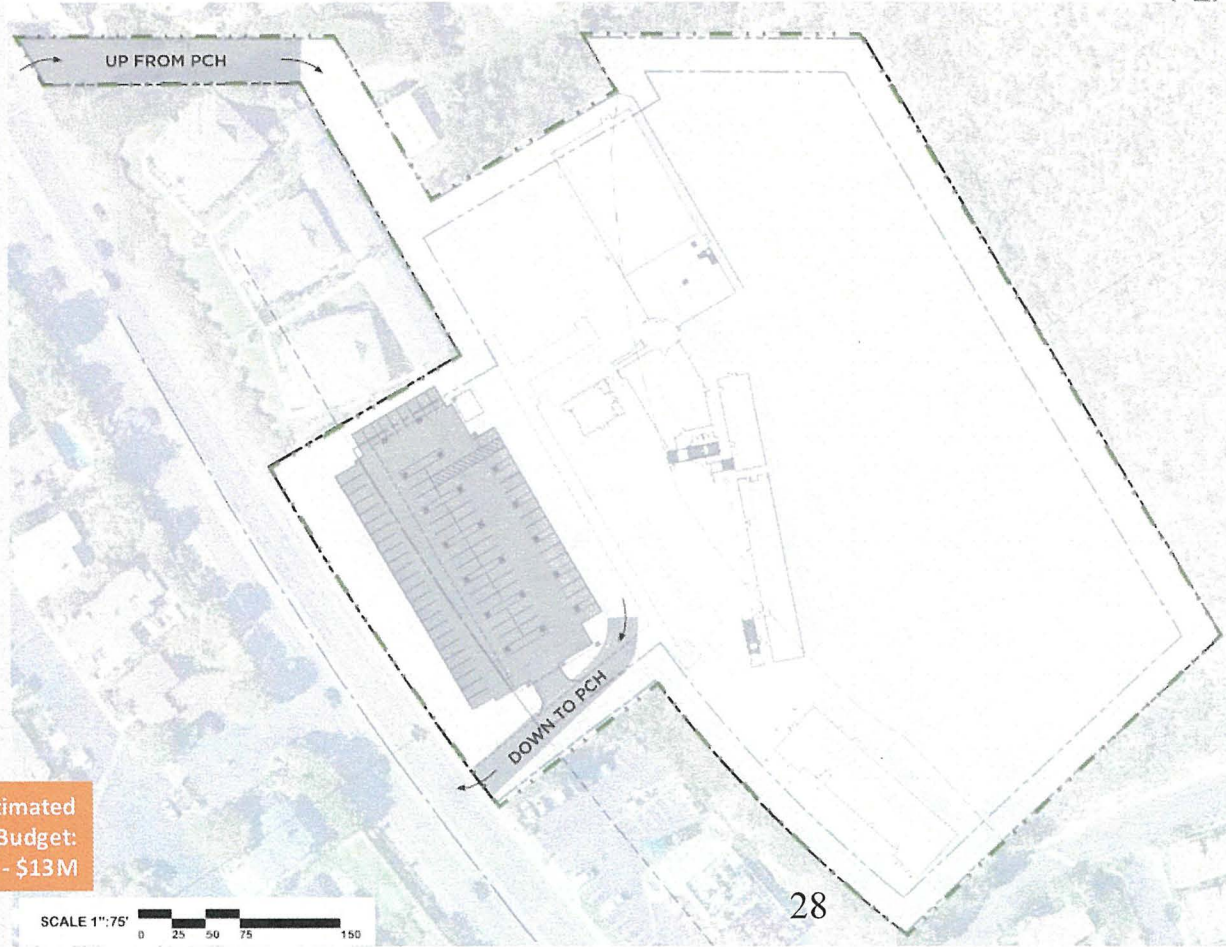
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Group 1 Details: CRC



PLAN OPTION - E (B-1)



LEGEND

- Site Area
- Setback
- Existing Structure
- Road/Parking
- Residential Program
- Existing Field

TABULATIONS

Existing Gym	
• Provided area	12,254 SF
Residential	
• Provided area	X,XXX SF
Parking on-site	
• B 1	75
• Level 1	47

Estimated Budget: \$12M - \$13M



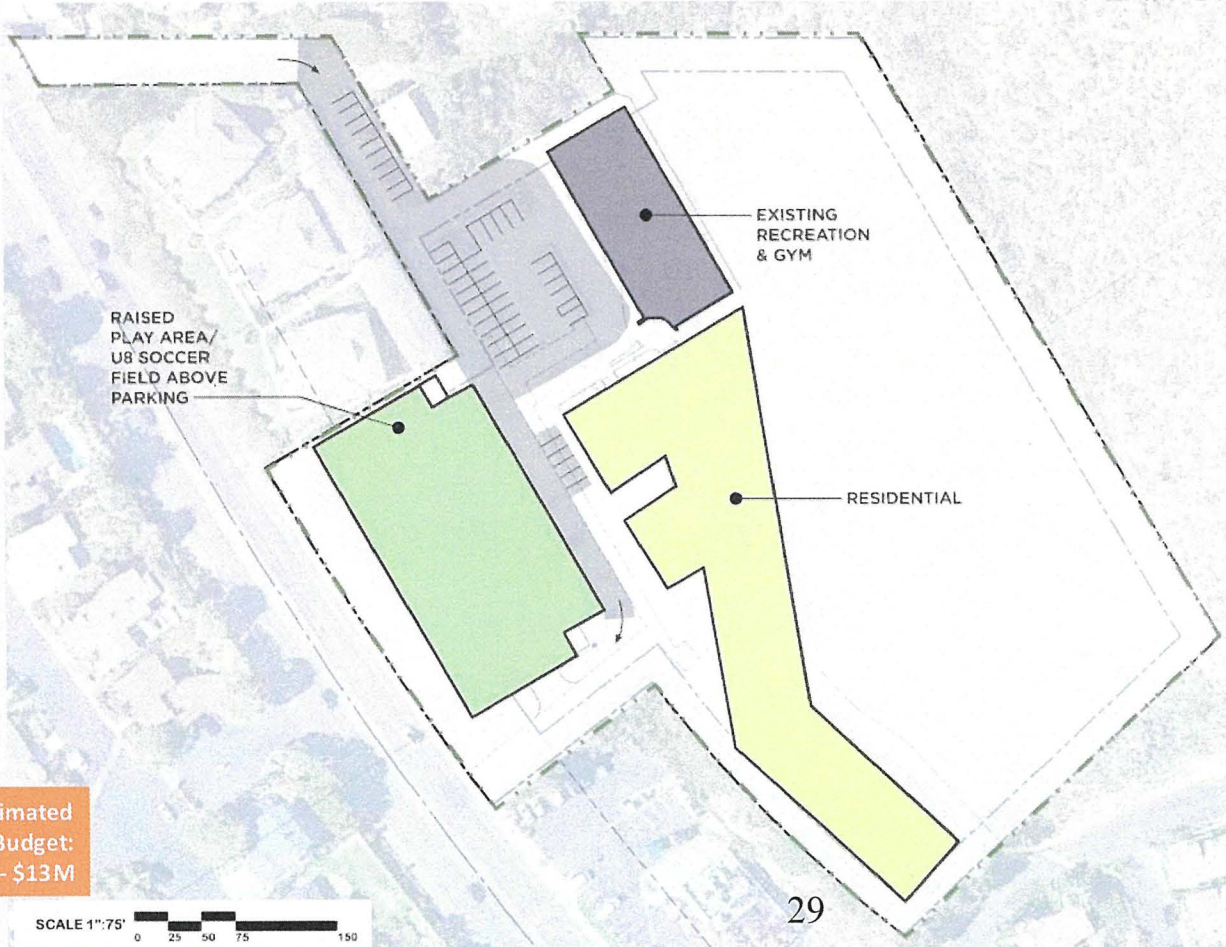


Group 1 Details: CRC

EXCELLENCE IN PROJECT DELIVERY



PLAN OPTION - E (LEVEL-1)



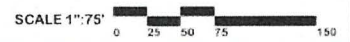
LEGEND

- Site Area
- Setback
- Existing Structure
- Road/Parking
- Residential Program
- Existing Field

TABULATIONS

Existing Gym	
• Provided area	12,254 SF
Residential	
• Provided area	35,000 SF
Parking on-site	
• B1	75
• Level 1	47

Estimated Budget: \$12M - \$13M



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CITY OF LAGUNA BEACH FACILITIES MASTER PLAN

CRC



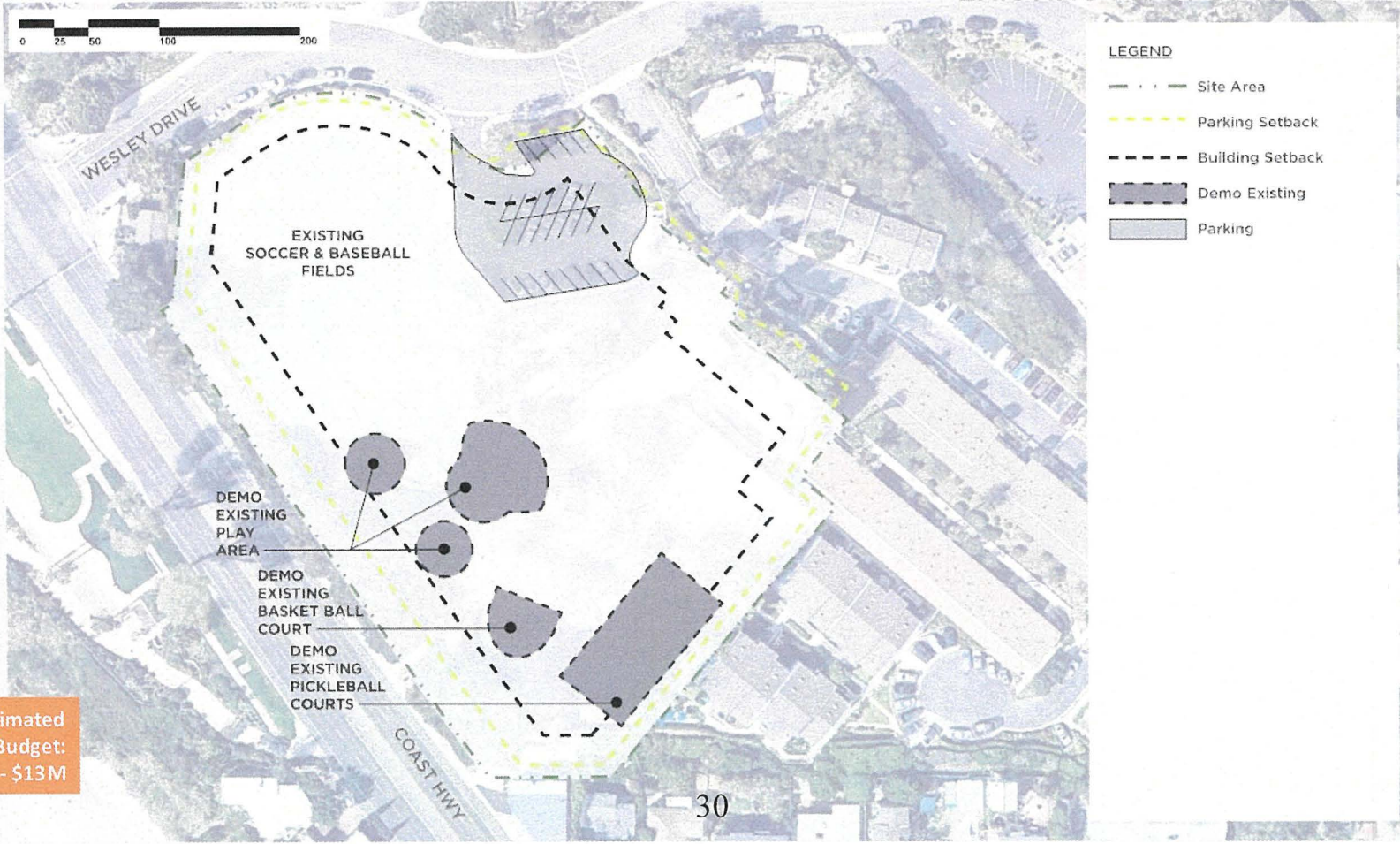


Group 1 Details: Lang Park (Light)

EXCELLENCE IN PROJECT DELIVERY



EXISTING PLAN OPTION



LEGEND

- Site Area
- Parking Setback
- Building Setback
- ▨ Demo Existing
- Parking

Estimated Budget: \$12M - \$13M



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Lang Park

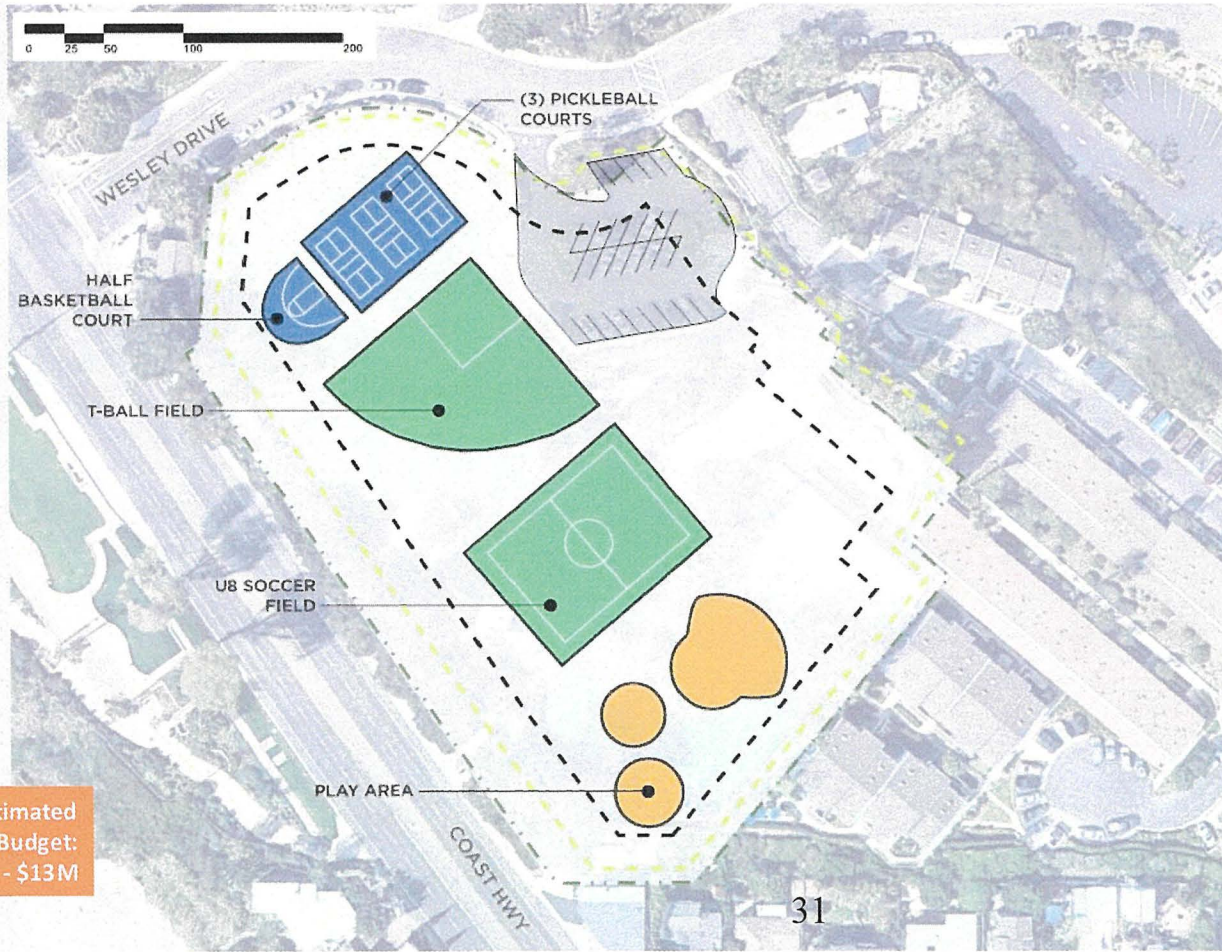




Group 1 Details: Lang Park (Light)



PLAN OPTION - F



Estimated Budget: \$12M - \$13M





Next Steps

- Integrate Council Input into Proposed Conversation Starters (Next Few Slides)
- Finalize Master Plan Report
- Align Projects with Funding Strategy
- Initiate Next Phase for Top Priority Projects
- Engage Community (as applicable)



Conversation Starter

Group 1: Public Safety, Core Services & Immediate Community Benefits

- Fire Station 1: How should lost parking be addressed if relocated to the Village Entrance?
- CRC Housing: Should housing be included, and where would displaced services go?
- Library: What should be prioritized within the \$4.2M budget?
- Forum Theater: Should upgrades go beyond ADA compliance to support broader access?

City of Laguna Beach

Facilities Master Plan

THANK YOU!
Questions?

