



**BUREAU
VERITAS**

FACILITY CONDITION ASSESSMENT

prepared for

Griffin Structures - City of Laguna Beach FCA

1 Technology, Building I, Suite 829

Irvine, CA 92618

Dustin Alamo



The Laguna Playhouse
606 Laguna Canyon Road
Laguna Beach, CA 92651

PREPARED BY:

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BV PROJECT #:

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August 14, 2024

ON SITE DATE:

June 12, 2024

Bureau Veritas

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1. Executive Summary

Campus Overview and Assessment Details

General Information	
Property Type	Entertainment
Number of Buildings	1
Main Address	606 Laguna Canyon Road, Laguna Beach, CA 92651
Site Developed	1965 Renovated 1985
Outside Occupants / Leased Spaces	None
Date(s) of Visit	June 12, 2024
Management Point of Contact	Griffin Structures Dustin Alamo, Vice President 949-280-4441 dalamo@griffinstructures.com
On-site Point of Contact (POC)	David Bryant
Assessment & Report Prepared By	Aren Hofland
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AssetCalc Link	Full dataset for this assessment can be found at: https://www.assetcalc.net/

Campus Findings and Deficiencies

Historical Summary

The Laguna Playhouse was constructed in 1965. A major renovation occurred in 1985. Many of the infrastructure systems are original to building construction. Over the last year, excessive rain has led to water damage to the electrical system, lighting system, and site retaining walls.

Architectural

The building has a wood framed flat roof with a built-up roof finish. The exterior walls are wood framed and have been plastered and painted within the last year. The plaster is cracking due to structural movement. The interiors are dated and carpet throughout is worn due to high traffic and age. The exterior windows are wood framed and single paned. An engineering study for the façade and roof decks is recommended to determine the overall costs of replacing the roof deck and facade structures.

Mechanical, Electrical, Plumbing and Fire (MEPF)

The MEPF infrastructure itself is generally in good working condition with some major expenditures anticipated in the short term.

Heating and cooling is provided by packaged rooftop units. The ductwork has been changed on some units in order meet indoor air quality standards, but the majority of the ductwork is still original to construction and in need of sealing to prevent water infiltration and heat loss.

The electrical distribution system is copper wiring and aged. The lighting system has recently been updated due to major water damage from recent heavy rains. The rest of the electrical system is original to construction. An electrical system study is recommended to determine the overall scope of work required to update the electrical system.

Plumbing distribution is copper supply with cast iron waste. The plumbing system is original and should be updated to prevent future clogs and drainage problems.

The fire alarm system consists of smoke alarms and exit signs.

A wet-pipe fire sprinkler system provides fire suppression for the building.

Site

An asphalt parking lot is shared with the Festival of Arts Complex. The parking lot and retaining wall assets were included in the Festival of Arts Complex Site assessment. Otherwise, only an ancillary storage structure is located to the rear of the Playhouse. A retaining wall surrounds the north and northwest side of the parking lot. In addition, the retaining wall is part of the building's South elevation. Part of the retaining wall was damaged during the recent storms this last winter. Water damage was repaired, but a study is recommended to determine if the retaining wall requires shoring for the rest of the southern wall elevation.

Recommended Additional Studies

See the Systems Summary tables in the latter sections of this report for recommended additional studies associated with the mechanical systems, electrical system, and site drainage.

Facility Condition Index (FCI)

One of the major goals of the FCA is to calculate the Facility Condition Index (FCI), which provides a theoretical objective indication of a facility’s overall condition. The FCI is defined as the ratio of the cost of current needs divided by the current replacement value (CRV) of the facility. The chart below presents the industry standard ranges and cut-off points.

FCI Ranges and Description	
0 – 5%	In new or well-maintained condition, with little or no visual evidence of wear or deficiencies.
5 – 10%	Subjected to wear but is still in a serviceable and functioning condition.
10 – 30%	Subjected to hard or long-term wear. Nearing the end of its useful or serviceable life.
30% and above	Has reached the end of its useful or serviceable life. Renewal is now necessary.

The deficiencies and lifecycle needs identified in this assessment provide the basis for a portfolio-wide capital improvement funding strategy. In addition to the current FCI, extended FCI’s have been developed to provide owners the intelligence needed to plan and budget for the “keep-up costs” for their facilities. As such the 3-year, 5-year, and 10-year FCI’s are calculated by dividing the anticipated needs of those respective time periods by current replacement value. As a final point, the FCI’s ultimately provide more value when used to relatively compare facilities across a portfolio instead of being over-analyzed and scrutinized as stand-alone mathematical values. The table below presents the current, 3-year, 5-year, and 10-year FCI’s for this facility:

Facility	Cost/SF	Total SF	Replacement Value	Current	3-Year	5-Year	10-Year
The Laguna Playhouse	\$1,800	12,890	\$23,202,000	5.8%	27.3%	30.7%	40.2%

Immediate Needs

Facility/Building	Total Items	Total Cost
The Laguna Playhouse / Site	1	\$43,300
The Laguna Playhouse / The Laguna Playhouse	5	\$1,355,600
TOTAL	6	\$1,398,900

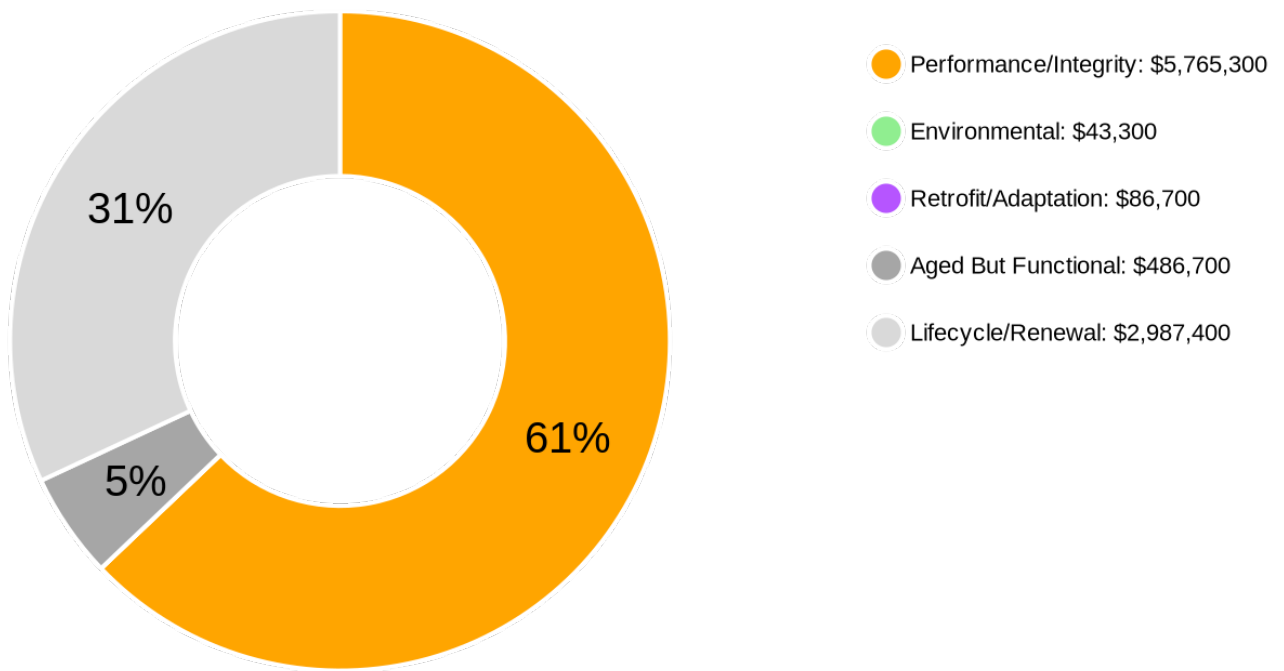


Plan Types

Each line item in the cost database is assigned a Plan Type, which is the primary reason or rationale for the recommended replacement, repair, or other corrective action. This is the “why” part of the equation. A cost or line item may commonly have more than one applicable Plan Type; however, only one Plan Type will be assigned based on the “best” fit, typically the one with the greatest significance and highest on the list below.

Plan Type Descriptions & Distribution

Safety	■	An observed or reported unsafe condition that if left unaddressed could result in injury; a system or component that presents potential liability risk.
Performance/Integrity	■	Component or system has failed, is almost failing, performs unreliably, does not perform as intended, and/or poses risk to overall system stability.
Accessibility	■	Does not meet ADA, UFAS, and/or other accessibility requirements.
Environmental	■	Improvements to air or water quality, including removal of hazardous materials from the building or site.
Retrofit/Adaptation	■	Components, systems, or spaces recommended for upgrades in in order to meet current standards, facility usage, or client/occupant needs.
Aged But Functional	■	Any component or system that has aged past its industry-average expected useful life (EUL) but is not currently deficient or problematic.
Lifecycle/Renewal	■	Any component or system that is neither deficient nor aged past EUL but for which future replacement or repair is anticipated and budgeted.



10-Year Total: \$9,369,500

2. The Laguna Playhouse



The Laguna Playhouse: Building Systems Summary

Address	606 Laguna Canyon Road, Laguna Beach, CA 92651	
GPS Coordinates	33.5473557, -117.7825055	
Constructed/Renovated	1965 Renovated 1985	
Building Area	12,890 SF	
Number of Stories	1 above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure over concrete slab foundation	Fair
Facade	Primary Wall Finish: Stucco Windows: Wood and aluminum	Poor
Roof	Primary: Flat construction with built-up finish	Poor
Interiors	Walls: Painted gypsum board, ceramic tile Floors: Carpet, ceramic tile, vinyl sheeting Ceilings: Painted gypsum board	Fair
Elevators	None	n/a
Plumbing	Distribution: Copper supply and cast-iron waste & venting Hot Water: Gas and electric water heaters with integral tanks Fixtures: Toilets, urinals, and sinks in all restrooms	Poor

The Laguna Playhouse: Building Systems Summary		
HVAC	Non-Central System: Packaged units Supplemental components: Ductless split-systems	Fair
Fire Suppression	Wet-pipe sprinkler system and fire extinguishers	Fair
Electrical	Source & Distribution: Main switchboard with copper wiring Interior Lighting: LED Emergency Power: None	Poor
Fire Alarm	Smoke detectors with exit signs only	Fair
Equipment/Special	None	-
Accessibility	Presently it does not appear an accessibility study is needed for the exterior and site areas. See the appendix for associated photos and additional information.	
Additional Studies	<p>Two studies are recommended for the Laguna Playhouse: The electrical distribution system is in poor condition. The majority of the building electrical distribution is original to building construction. The wiring insulation is failing and a study should be performed to determine the total scope of work required to repair the electrical infrastructure. A professional engineer should be retained to analyze the existing condition, provide recommendations and, if necessary, estimate the scope and cost of any required repairs. The cost of this study is included in the cost tables. Due to the ambiguity of the required repair scope at the time of this assessment, the cost for any possible subsequent repairs is not included.</p> <p>The roof deck and façade are in poor condition. Roof and façade finishes have been updated, but the underlying structural systems need to be evaluated to determine total project costs for repairing the roof deck and façade structure. A professional engineer, architect, or consultant should be retained to analyze the existing condition, provide recommendations and, if necessary, estimate the scope and cost of any required repairs. The cost of this study is included in the cost tables. A budgetary cost allowance to replace the roofing and façade is also included.</p>	

The Laguna Playhouse: Building Systems Summary

Areas Observed	The interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the buildings, the exterior walls of the facility, and the roofs.
Key Spaces Not Observed	All key areas of the facility were accessible and observed.

The table below shows the anticipated costs by trade or building system over the next 20 years.

The Laguna Playhouse: System Expenditure Forecast

System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	\$0	\$1,225,551	\$0	\$63,541	\$955,262	\$2,244,354
Roofing	\$0	\$1,369,886	\$113,008	\$0	\$0	\$1,482,894
Interiors	\$0	\$295,729	\$495,103	\$462,450	\$1,406,319	\$2,659,601
Plumbing	\$877,963	\$0	\$37,326	\$48,412	\$160,076	\$1,123,777
HVAC	\$191,456	\$0	\$37,932	\$453,875	\$1,377,514	\$2,060,777
Fire Protection	\$0	\$0	\$108,995	\$0	\$0	\$108,995
Electrical	\$199,537	\$325,080	\$473,088	\$714,144	\$0	\$1,711,849
Fire Alarm & Electronic Systems	\$0	\$263,987	\$0	\$0	\$376,256	\$640,243
Equipment & Furnishings	\$0	\$1,016,149	\$0	\$466,258	\$81,722	\$1,564,129
Follow-up Studies	\$86,688	\$0	\$0	\$0	\$0	\$86,688
TOTALS	\$1,355,600	\$4,496,400	\$1,265,500	\$2,208,700	\$4,357,200	\$13,683,500

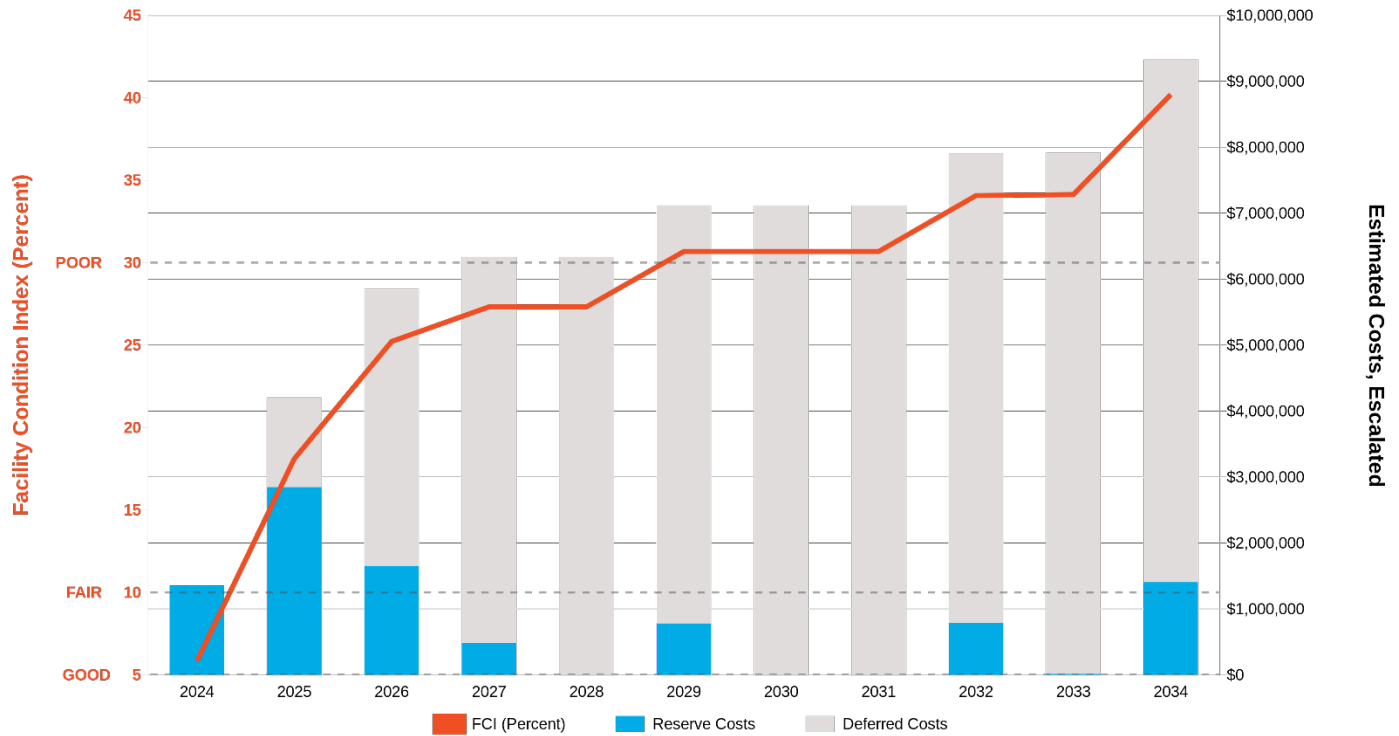
NEEDS OVER TIME: The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.

Needs by Year with Unaddressed FCI Over Time

Replacement Value: \$23,202,000.00

Inflation Rate: 5%

Average Needs (per year - over next 10 years): \$847,832.00



Immediate Needs

Location	UF Code	Description	Condition	Plan Type	Cost
The Laguna Playhouse / The Laguna Playhouse	P2032	Architectural Study, Building Envelope, Façade, Evaluate/Report	NA	Retrofit/Adaptation	\$43,300
The Laguna Playhouse / The Laguna Playhouse	D2014	Plumbing System, Supply & Sanitary, Medium Density (excludes fixtures), Replace	Poor	Performance/Integrity	\$878,000
The Laguna Playhouse / The Laguna Playhouse	D5031	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	Poor	Performance/Integrity	\$199,500
The Laguna Playhouse / The Laguna Playhouse	D3055	HVAC System, Ductwork, Medium Density, Replace	Failed	Performance/Integrity	\$191,500
The Laguna Playhouse / The Laguna Playhouse	P2032	Engineering Study, Electrical, General Design, Design	NA	Retrofit/Adaptation	\$43,300
TOTAL (5 items)					\$1,355,600

Key Findings



Exterior Walls in Poor condition.

Stucco
The Laguna Playhouse
Building Exterior

Uniformat Code: B2010
Recommendation: **Prep & Paint in 2025**

Plan Type:
Performance/Integrity

Cost Estimate: \$324,500

Painted plaster over wood frame, plaster is cracking - AssetCALC ID: 7727880



Roofing in Poor condition.

Built-Up
The Laguna Playhouse
Roof

Uniformat Code: B3010
Recommendation: **Replace in 2025**

Plan Type:
Performance/Integrity

Cost Estimate: \$1,304,700

Leaks are reported - AssetCALC ID: 7727893



Storefront in Poor condition.

Glazing & Framing
The Laguna Playhouse
Building exterior

Uniformat Code: B2020
Recommendation: **Replace in 2025**

Plan Type:
Performance/Integrity

Cost Estimate: \$749,200

Reported in psq that windows leak. - AssetCALC ID: 7908390



Switchboard in Poor condition.

120/208 V
The Laguna Playhouse
Electrical room

Uniformat Code: D5020
Recommendation: **Replace in 2025**

Plan Type:
Performance/Integrity

Cost Estimate: \$309,600

Original to construction of the building, reported electrical issues in psq - AssetCALC ID: 7727840



Glazing in Poor condition.

any type, by SF
The Laguna Playhouse
Building Exterior

Uniformat Code: B2020
Recommendation: **Replace in 2026**

Plan Type:
Performance/Integrity

Cost Estimate: \$68,100

Single paned, wood frame - AssetCALC ID: 7727824



Electrical System in Poor condition.

Wiring & Switches, Average or Low
Density/Complexity
The Laguna Playhouse
Throughout building

Uniformat Code: D5030
Recommendation: **Replace in 2024**

Plan Type:
Performance/Integrity

Cost Estimate: \$199,500

Water infiltration destroyed lighting system, but other wiring in original. Study to determine system status is recommended. - AssetCALC ID: 7727767



Plumbing System in Poor condition.

Supply & Sanitary, Medium Density (excludes
fixtures)
The Laguna Playhouse
Throughout building

Uniformat Code: D2010
Recommendation: **Replace in 2024**

Plan Type:
Performance/Integrity

Cost Estimate: \$878,000

Original to construction. Study should be performed to determine plumbing system needs - AssetCALC ID: 7727769



Casework in Poor condition.

Countertop, Ceramic Tile
The Laguna Playhouse
Lobby

Uniformat Code: E2010
Recommendation: **Replace in 2026**

Plan Type:
Performance/Integrity

Cost Estimate: \$26,000

Countertop has cracked and dated tiles - AssetCALC ID: 7727847



HVAC System in Failed condition.

Ductwork, Medium Density
The Laguna Playhouse
Roof

Uniformat Code: D3050
Recommendation: **Replace in 2024**

Plan Type:
Performance/Integrity

Cost Estimate: \$191,500

Original, leaks and other pressure problems - AssetCALC ID: 7727861



Exterior Door in Poor condition.

Wood, Solid-Core Commercial
The Laguna Playhouse
Building Exterior

Uniformat Code: B2050
Recommendation: **Replace in 2025**

Plan Type:
Performance/Integrity

Cost Estimate: \$21,900

Delaminating, door has also been damaged due to break in. - AssetCALC ID: 7727868



Foodservice Equipment in Poor condition.

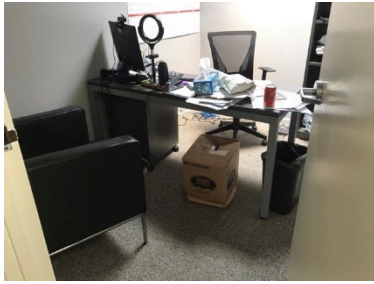
Refrigerator, Undercounter 1-Door
The Laguna Playhouse
Lobby

Uniformat Code: E1030
Recommendation: **Replace in 2026**

Plan Type:
Performance/Integrity

Cost Estimate: \$6,800

Old with poor seals - AssetCALC ID: 7727766



Flooring in Poor condition.

Carpet, Commercial Standard
The Laguna Playhouse
Throughout building

Uniformat Code: C2030
Recommendation: **Replace in 2026**

Plan Type:
Performance/Integrity

Cost Estimate: \$205,300

Worn, stained, runs, and tears - AssetCALC ID: 7727890



Foodservice Equipment in Poor condition.

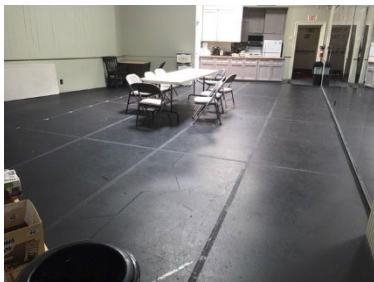
Refrigerator, Undercounter 1-Door
The Laguna Playhouse
Lobby

Uniformat Code: E1030
Recommendation: **Replace in 2026**

Plan Type:
Performance/Integrity

Cost Estimate: \$6,800

Old with poor seals - AssetCALC ID: 7727750



Flooring in Poor condition.

Rubber Tile
The Laguna Playhouse
Green Room

Uniformat Code: C2030
Recommendation: **Replace in 2026**

Plan Type:
Performance/Integrity

Cost Estimate: \$63,000

General wear and tear over a long life - AssetCALC ID: 7727866



Fixed Seating in Poor condition.

Auditorium/Theater, Metal Cushioned Standard
The Laguna Playhouse
Theater

Uniformat Code: E2010
Recommendation: **Replace in 2026**

Plan Type:
Performance/Integrity

Cost Estimate: \$882,100

Seats are antiqued and hard to find parts fr repair - AssetCALC ID: 7727895

Fire Alarm System in Poor condition.

Plan Type:
Performance/Integrity

Cost Estimate: \$239,400

Full System Upgrade, Standard Addressable
The Laguna Playhouse
Throughout building

Uniformat Code: D7050
Recommendation: **Upgrade/Install in 2026**

Smoke detectors only - AssetCALC ID: 7727883



Recommended Follow-up Study:

Plan Type:
Retrofit/Adaptation

Cost Estimate: \$43,300

Electrical, General Design
The Laguna Playhouse
Throughout building

Uniformat Code: P2030
Recommendation: **Design in 2024**

Electrical distribution is original. Wiring insulation is naturally failing from age. Electrical system study recommended to determine overall scope of work required for upgrade. - AssetCALC ID: 7836078



Recommended Follow-up Study:

Plan Type:
Retrofit/Adaptation

Cost Estimate: \$43,300

Building Envelope, Façade
The Laguna Playhouse
Throughout building

Uniformat Code: P2030
Recommendation: **Evaluate/Report in 2024**

Both roof and facade have been surface repaired, with underlying issues covered up. Roof deck needs to be replaced and exterior facade needs to be replaced. Study recommended to determine total scope of project. - AssetCALC ID: 7836076

The Laguna Playhouse: Photographic Overview



1 – FRONT ELEVATION



2 – LEFT ELEVATION



3 – REAR ELEVATION



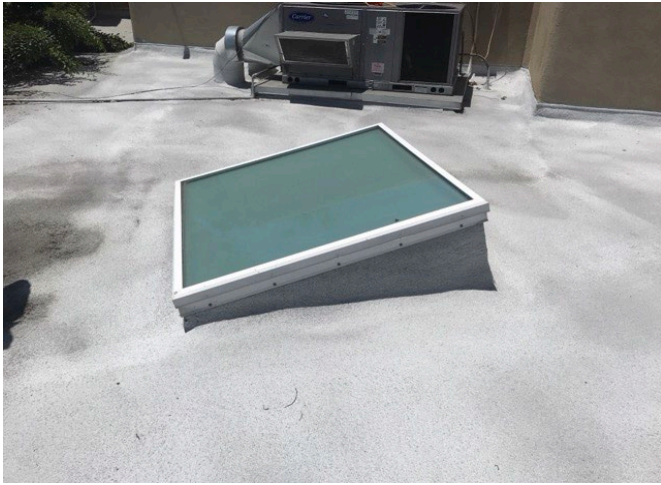
4 – RIGHT ELEVATION



5 – STRUCTURAL GLAZING



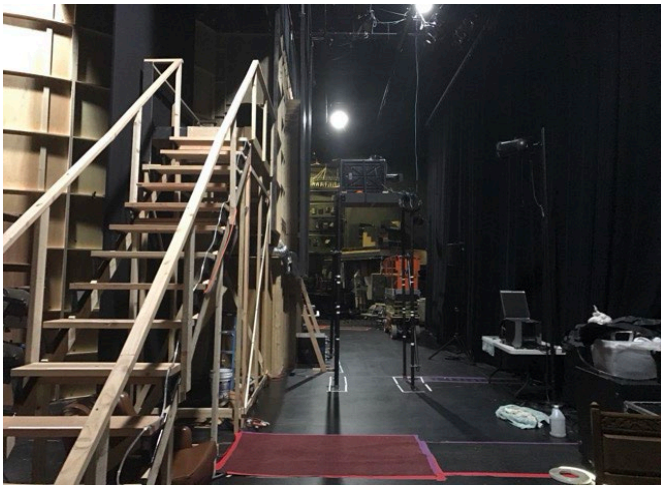
6 – EXTERIOR WALLS



7 – ROOFING AND ROOF SKYLIGHT



8 – THEATER AND STAGE



9 – BACK STAGE



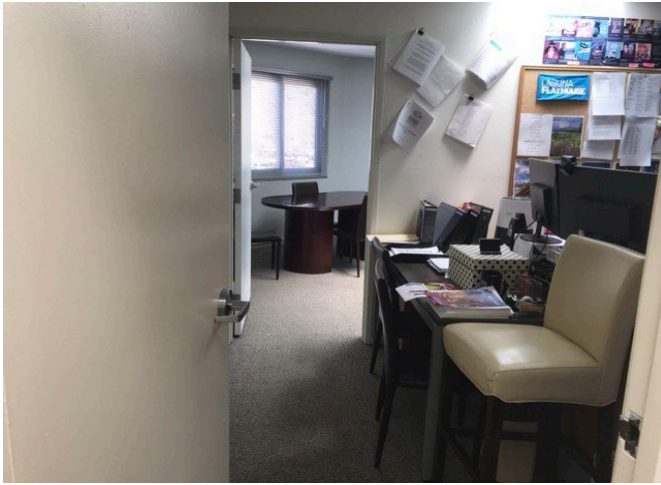
10 – LOBBY AND BAR



11 – DRESSING ROOM



12 – PRACTICE ROOM



13 – ADMINISTRATION OFFICES



14 – PUBLIC RESTROOM



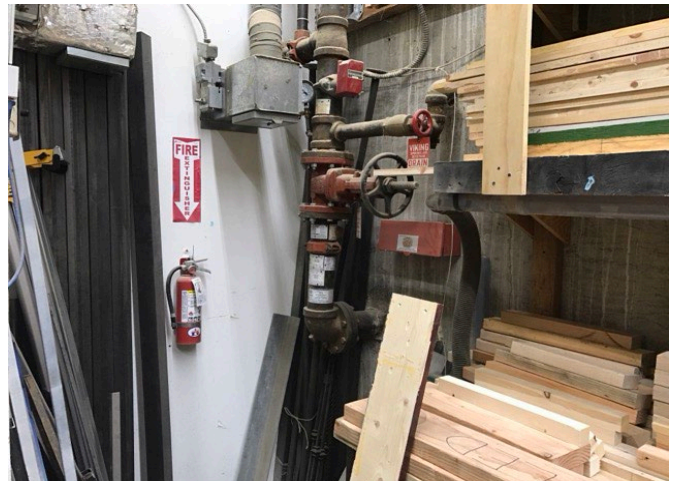
15 – WATER HEATER



16 – PACKAGED UNIT



17 – MAIN SWITCHBOARD



18 – FIRE SUPPRESSION SYSTEM

3. Site



Site: Site Information		
Site Area	0.51 acres	
Parking Spaces	Parking count shown in Festival of Arts FCA report	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Site Development	Building-mounted signage; CMU wall fencing; CMU wall dumpster enclosures Limited tables and chairs	Fair
Landscaping & Topography	Limited landscaping features including trees, bushes, and planters Irrigation present CMU retaining walls Severe site slopes along south, west, and north boundary	Fair
Utilities	Municipal water and sewer Local utility-provided electric and natural gas	Fair
Site Lighting	Pole-mounted: none Building-mounted: LED	Fair
Ancillary Structures	Storage building	Fair
Site Accessibility	Presently it does not appear an accessibility study is needed for the exterior and site areas. See the appendix for associated photos and additional information.	

Site: Site Information

Site Additional Studies	One study is recommended for the site: The retaining wall on the North, west, and south border is in poor condition. Recent rain led to a portion of the retaining wall to fail during a large rain event during the previous winter. The rest of the retaining wall around the parking lot and as part of the building structure should be investigated to determine if the retaining wall is still holding in other locations. A professional engineer, architect, or consultant must be retained to analyze the existing condition, provide recommendations and, if necessary, estimate the scope and cost of any required repairs. The cost of this study is included in the cost tables. Due to the ambiguity of the required repair scope at the time of this assessment, the cost for any possible subsequent repairs is not included.
Site Areas Observed	The exterior areas within the property boundaries were observed to gain a clear understanding of the site's overall condition.
Site Key Spaces Not Observed	All key areas of the exterior site were accessible and observed.

The table below shows the anticipated costs by trade or building system over the next 20 years.

Site: System Expenditure Forecast

System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Special Construction & Demo	\$0	\$0	\$0	\$0	\$193,090	\$193,090
Follow-up Studies	\$43,300	\$0	\$0	\$0	\$0	\$43,344
TOTALS	\$43,300	\$0	\$0	\$0	\$193,100	\$236,500

Immediate Needs

Location	UF Code	Description	Condition	Plan Type	Cost
The Laguna Playhouse / Site	P2032	Engineering Study, Structural, Retaining Wall, Evaluate/Report	NA	Environmental	\$43,300
TOTAL (1 items)					\$43,300

Key Findings

There are no key findings to report.

Site: Photographic Overview



1 - SHARED PARKING WITH FESTIVAL OF ARTS



2 - ANCILLARY BUILDING



3 - FIRE PROTECTION BACKFLOW PREVENTER



4 - ENGINEERING STUDY



5 - RETAINING WALL



6 - LANDSCAPING

4. ADA Accessibility

Generally, Title II of the Americans with Disabilities Act (ADA) prohibits discrimination by entities to access and use of “areas of public accommodations” and “public facilities” on the basis of disability. Regardless of their age, these areas and facilities must be maintained and operated to comply with the Americans with Disabilities Act Accessibility Guidelines (ADAAG).

A public entity (i.e. city governments) shall operate each service, program, or activity so that the service, program, or activity, when viewed in its entirety, is readily accessible to and usable by individuals with disabilities.

However, this does not:

1. Necessarily require a public entity to make each of its existing facilities accessible to and usable by individuals with disabilities;
2. Require a public entity to take any action that would threaten or destroy the historic significance of an historic property; or
3. Require a public entity to take any action that it can demonstrate would result in a fundamental alteration in the nature of a service, program, or activity or in undue financial and administrative burdens. In those circumstances where personnel of the public entity believe that the proposed action would fundamentally alter the service, program, or activity or would result in undue financial and administrative burdens, a public entity has the burden of proving that compliance with 35.150(a) of this part would result in such alteration or burdens. The decision that compliance would result in such alteration or burdens must be made by the head of a public entity or his or her designee after considering all resources available for use in the funding and operation of the service, program, or activity, and must be accompanied by a written statement of the reasons for reaching that conclusion. If an action would result in such an alteration or such burdens, a public entity shall take any other action that would not result in such an alteration or such burdens but would nevertheless ensure that individuals with disabilities receive the benefits or services provided by the public entity.

Removal of barriers to accessibility should be addressed from a liability standpoint in order to comply with federal law, but the barriers may or may not be building code violations. The Americans with Disabilities Act Accessibility Guidelines are part of the ADA federal civil rights law pertaining to the disabled and are not a construction code. State and local jurisdictions have adopted the ADA Guidelines or have adopted other standards for accessibility as part of their construction codes.

During the FCA, Bureau Veritas performed a limited high-level accessibility review of the facility non-specific to any local regulations or codes. The scope of the visual observation was limited to the same areas observed while performing the FCA and the categories set forth in the material included in the appendix. It is understood by the Client that the limited observations described herein do not comprise a full ADA Compliance Survey, and that such a survey is beyond the scope of this assessment. A full measured ADA survey would be required to identify more specific potential accessibility issues. Additional clarifications of this limited survey:

- This survey was visual in nature and actual measurements were not taken to verify compliance
- Only a representative sample of areas was observed
- Two overview photos were taken for each subsection regardless of perceived compliance or non-compliance
- For any “none” boxes checked or reference to “no issues” identified, that alone does not guarantee full compliance

The following table summarizes the accessibility conditions of the general site and each significant building included in this report:

Accessibility Summary

<i>Facility</i>	<i>Year Built/ Renovated</i>	<i>Prior Study Provided?</i>	<i>Major/Moderate Issues Observed?</i>
Site	1970 / 1985	No	No
The Laguna Playhouse	1965 / 1985	No	No

No detailed follow-up accessibility study is currently recommended since no major or moderate issues were identified at the subject site. Reference the appendix for specific data, photos, and tables or checklists associated with this limited accessibility survey.

5. Purpose and Scope

Purpose

Bureau Veritas was retained by the client to render an opinion as to the Property's current general physical condition on the day of the site visit.

Based on the observations, interviews and document review outlined below, this report identifies significant deferred maintenance issues, existing deficiencies, and material code violations of record, which affect the Property's use. Opinions are rendered as to its structural integrity, building system condition and the Property's overall condition. The report also notes building systems or components that have realized or exceeded their typical expected useful lives.

The physical condition of building systems and related components are typically defined as being in one of five condition ratings. For the purposes of this report, the following definitions are used:

Condition Ratings	
Excellent	New or very close to new; component or system typically has been installed within the past year, sound and performing its function. Eventual repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
Good	Satisfactory as-is. Component or system is sound and performing its function, typically within the first third of its lifecycle. However, it may show minor signs of normal wear and tear. Repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
Fair	Showing signs of wear and use but still satisfactory as-is, typically near the median of its estimated useful life. Component or system is performing adequately at this time but may exhibit some signs of wear, deferred maintenance, or evidence of previous repairs. Repair or replacement will be required due to the component or system's condition and/or its estimated remaining useful life.
Poor	Component or system is significantly aged, flawed, functioning intermittently or unreliably; displays obvious signs of deferred maintenance; shows evidence of previous repair or workmanship not in compliance with commonly accepted standards; has become obsolete; or exhibits an inherent deficiency. The present condition could contribute to or cause the deterioration of contiguous elements or systems. Either full component replacement is needed or repairs are required to restore to good condition, prevent premature failure, and/or prolong useful life.
Failed	Component or system has ceased functioning or performing as intended. Replacement, repair, or other significant corrective action is recommended or required.
Not Applicable	Assigning a condition does not apply or make logical sense, most commonly due to the item in question not being present.

Scope

The standard scope of the Facility Condition Assessment includes the following:

- Visit the Property to evaluate the general condition of the building and site improvements, review available construction documents in order to familiarize ourselves with, and be able to comment on, the in-place construction systems, life safety, mechanical, electrical, and plumbing systems, and the general built environment.
- Identify those components that are exhibiting deferred maintenance issues and provide cost estimates for Immediate Costs and Replacement Reserves based on observed conditions, maintenance history and industry standard useful life estimates. This will include the review of documented capital improvements completed within the last five-year period and work currently contracted for, if applicable.
- Provide a full description of the Property with descriptions of in-place systems and commentary on observed conditions.
- Provide a high-level categorical general statement regarding the subject Property's compliance to Title III of the Americans with Disabilities Act. This will not constitute a full ADA survey, but will help identify exposure to issues and the need for further review.
- Obtain background and historical information about the facility from a building engineer, property manager, maintenance staff, or other knowledgeable source. The preferred methodology is to have the client representative or building occupant complete a Pre-Survey Questionnaire (PSQ) in advance of the site visit. Common alternatives include a verbal interview just prior to or during the walk-through portion of the assessment.
- Review maintenance records and procedures with the in-place maintenance personnel.
- Observe a representative sample of the interior spaces/units, including vacant spaces/units, to gain a clear understanding of the property's overall condition. Other areas to be observed include the exterior of the property, the roofs, interior common areas, and the significant mechanical, electrical and elevator equipment rooms.
- Provide recommendations for additional studies, if required, with related budgetary information.
- Provide an Executive Summary at the beginning of this report, which highlights key findings and includes a Facility Condition Index as a basis for comparing the relative conditions of the buildings within the portfolio.

6. Opinions of Probable Costs

Cost estimates are embedded throughout this report, including the very detailed Replacement Reserves report in the appendix. The cost estimates are predominantly based on construction rehabilitation costs developed by the *RSMMeans data from Gordian*. While the *RSMMeans data from Gordian* is the primary reference source for the Bureau Veritas cost library, secondary and supporting sources include but are not limited to other industry experts work, such as *Marshall & Swift* and *CBRE Whitestone*. For improved accuracy, additional research integrated with Bureau Veritas's historical experience with past costs for similar properties, city cost indexes, and assumptions regarding future economic conditions also come into play when deemed necessary. Invoice or bid documents provided either by the owner or facility construction resources may be reviewed early in the process or for specific projects as warranted.

Opinions of probable costs should only be construed as preliminary, order of magnitude budgets. Actual costs most probably will vary from the consultant's opinions of probable costs depending on such matters as type and design of suggested remedy, quality of materials and installation, manufacturer and type of equipment or system selected, field conditions, whether a physical deficiency is repaired or replaced in whole, phasing or bundling of the work (if applicable), quality of contractor, quality of project management exercised, market conditions, use of subcontractors, and whether competitive pricing is solicited, etc. Certain opinions of probable costs cannot be developed within the scope of this guide without further study. Opinions of probable cost for further study should be included in the FCA.

Methodology

Based upon site observations, research, and judgment, along with referencing Expected Useful Life (EUL) tables from various industry sources, Bureau Veritas opines as to when a system or component will most probably necessitate replacement. Accurate historical replacement records, if provided, are typically the best source of information. Exposure to the elements, initial quality and installation, extent of use, the quality and amount of preventive maintenance exercised, etc., are all factors that impact the effective age of a system or component. As a result, a system or component may have an effective age that is greater or less than its actual chronological age. The Remaining Useful Life (RUL) of a component or system equals the EUL less its *effective age*, whether explicitly or implicitly stated. Projections of Remaining Useful Life (RUL) are based primarily on age and condition with the presumption of continued use and maintenance of the Property similar to the observed and reported past use and maintenance practices, in conjunction with the professional judgment of Bureau Veritas's assessors. Significant changes in occupants and/or usage may affect the service life of some systems or components.

Where quantities could not be or were not derived from an actual construction document take-off or facility walk-through, and/or where systemic costs are more applicable or provide more intrinsic value, budgetary square foot and gross square foot costs are used. Estimated costs are based on professional judgment and the probable or actual extent of the observed defect, inclusive of the cost to design, procure, construct and manage the corrections.

To account for differences in prices between locations, the base costs are modified by geographical location factors to adjust for to market conditions, transportation costs, or other local contributors. When requested by the client, the costs may be further adjusted by several additional factors including; labor rates (prevailing minimum wage), general contractor fees for profit and overhead, and insurance. If desired, costs for design and permits, and a contingency factor, may also be included in the calculations.

Definitions

Immediate Needs

Immediate Needs are line items that require immediate action as a result of: (1) material existing or potential unsafe conditions, (2) failed or imminent failure of mission critical building systems or components, or (3) conditions that, if not addressed, have the potential to result in, or contribute to, critical element or system failure within one year or will most probably result in a significant escalation of its remedial cost.

For database and reporting purposes the line items with RUL=0, and commonly associated with *Safety or Performance/Integrity* Plan Types, are considered Immediate Needs.

Replacement Reserves

Cost line items traditionally called Replacement Reserves (equivalently referred to as Lifecycle/Renewals) are for recurring probable renewals or expenditures, which are not classified as operation or maintenance expenses. The replacement reserves should be budgeted for in advance on an annual basis. Replacement Reserves are reasonably predictable both in terms of frequency and cost. However, Replacement Reserves may also include components or systems that have an indeterminable life but, nonetheless, have a potential for failure within an estimated time period.

Replacement Reserves generally exclude systems or components that are estimated to expire after the reserve term and are not considered material to the structural and mechanical integrity of the subject property. Furthermore, systems and components that are not deemed to have a material effect on the use of the Property are also excluded. Costs that are caused by acts of God, accidents, or other occurrences that are typically covered by insurance, rather than reserved for, are also excluded.

Replacement costs are solicited from ownership/property management, Bureau Veritas's discussions with service companies, manufacturers' representatives, and previous experience in preparing such schedules for other similar facilities. Costs for work performed by the ownership's or property management's maintenance staff are also considered.

Bureau Veritas's reserve methodology involves identification and quantification of those systems or components requiring capital reserve funds within the assessment period. The assessment period is defined as the effective age plus the reserve term. Additional information concerning system or component replacement costs (in today's dollars), typical expected useful lives, and remaining useful lives were estimated so that a funding schedule could be prepared. The Replacement Reserves Schedule presupposes that all required remedial work has been performed or that monies for remediation have been budgeted for items defined as Immediate Needs.

For the purposes of 'bucketizing' the System Expenditure Forecasts in this report, the Replacement Reserves have been subdivided and grouped as follows: Short Term (years 1-3), Near Term (years 4-5), Medium Term (years 6-10), and Long Term (years 11-20).

Key Findings

In an effort to highlight the most significant cost items and not be overwhelmed by the Replacement Reserves report in its totality, a subsection of Key Findings is included within the Executive Summary section of this report. Key Findings typically include repairs or replacements of deficient items within the first five-year window, as well as the most significant high-dollar line items that fall anywhere within the ten-year term. Note that while there is some subjectivity associated with identifying the Key Findings, the Immediate Needs are always included as a subset.

7. Certification

Griffin Structures - City of Laguna Beach FCA (the Client) retained Bureau Veritas to perform this Facility Condition Assessment in connection with its continued operation of The Laguna Playhouse, 606 Laguna Canyon Road, Laguna Beach, CA 92651, the "Property". It is our understanding that the primary interest of the Client is to locate and evaluate materials and building system defects that might significantly affect the value of the property and to determine if the present Property has conditions that will have a significant impact on its continued operations.

The conclusions and recommendations presented in this report are based on the brief review of the plans and records made available to our Project Manager during the site visit, interviews of available property management personnel and maintenance contractors familiar with the Property, appropriate inquiry of municipal authorities, our Project Manager's walk-through observations during the site visit, and our experience with similar properties.

No testing, exploratory probing, dismantling or operating of equipment or in-depth studies were performed unless specifically required under the *Purpose and Scope* section of this report. This assessment did not include engineering calculations to determine the adequacy of the Property's original design or existing systems. Although walk-through observations were performed, not all areas may have been observed (see Section 1 for specific details). There may be defects in the Property, which were in areas not observed or readily accessible, may not have been visible, or were not disclosed by management personnel when questioned. The report describes property conditions at the time that the observations and research were conducted.

This report has been prepared for and is exclusively for the use and benefit of the Client identified on the cover page of this report. The purpose for which this report shall be used shall be limited to the use as stated in the contract between the client and Bureau Veritas.

This report, or any of the information contained therein, is not for the use or benefit of, nor may it be relied upon by any other person or entity, for any purpose without the advance written consent of Bureau Veritas. Any reuse or distribution without such consent shall be at the client's or recipient's sole risk, without liability to Bureau Veritas.

Prepared by: Aren Hofland
Project Assessor

Reviewed by:



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8. Appendices

- Appendix A: Site and Floor Plan(s)
- Appendix B: Pre-Survey Questionnaire(s)
- Appendix C: Accessibility Review and Photos
- Appendix D: Component Condition Report
- Appendix E: Replacement Reserves
- Appendix F: Equipment Inventory List





Appendix A:

Site and Floor Plan(s)

Site Plan



 BUREAU VERITAS	Project Number	Project Name	 N
	164043.24R000-018.354	The Laguna Playhouse	
	Source	On-Site Date	
	Google	6/12/2024	

Appendix B:

Pre-Survey Questionnaire(s)

BV FACILITY CONDITION ASSESSMENT: PRE-SURVEY QUESTIONNAIRE

Building / Facility Name: The Laguna Playhouse

Name of person completing form: David Bryant

Title / Association w/ property: Facility Managr

Length of time associated w/ property: 18 months

Date Completed: 6/12/2024

Phone Number: 949.466.8137

Method of Completion: INTERVIEW - verbally completed during interview

Directions: Please answer all questions to the best of your knowledge and in good faith. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses.

Data Overview		Response		
1	Year(s) constructed	Constructed 1965	Renovated 1985	Addition of the mezzanine; 2019 exterior facade; public restrooms 2021
2	Building size in SF	12,890 SF		
3	Major Renovation/Rehabilitation		Year	Additional Detail
		Facade	2019	
		Roof	2016	3 sections, 2 have repaired
		Interiors		
		HVAC	2022	3 units replaced, rectangular ductwork replaced; smoke hatches
		Electrical	2023	Major renovation to lighting system ue to age and water infiltration
		Site Pavement		
		Accessibility		
4	List other significant capital improvements (focus on recent years; provide approximate date).	See attachment		
5	List any major capital expenditures planned/requested for the next few years. Have they been budgeted?			
6	Describe any on-going extremely problematic, historically chronic, or immediate facility needs.	Seating is antiquated, electrical throughout,		

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses. (**NA** indicates "Not Applicable", **Unk** indicates "Unknown")

Question		Response				Comments
		Yes	No	Unk	NA	
7	Are there any problems with foundations or structures, like excessive settlement?	X				
8	Are there any wall, window, basement or roof leaks?	X				
9	Has any part of the facility ever contained visible suspect mold growth, or have there been any indoor air quality complaints?		X			
10	Are your elevators unreliable, with frequent service calls?				X	
11	Are there any plumbing leaks, water pressure, or clogging/backup issues?	X				
12	Have there been any leaks or pressure problems with natural gas, HVAC piping, or steam service?		X			
13	Are any areas of the facility inadequately heated, cooled or ventilated? Poorly insulated areas?	X				
14	Is the electrical service outdated, undersized, or problematic?	X				
15	Are there any problems or inadequacies with exterior lighting?		X			
16	Is site/parking drainage inadequate, with excessive ponding or other problems?	X				
17	Are there any other unresolved construction defects or significant issues/hazards at the property that have not yet been identified above?			X		
18	ADA: Has an accessibility study been previously performed? If so, when?	X				
19	ADA: Have any ADA improvements been made to the property since original construction? Describe.	X				
20	ADA: Has building management reported any accessibility-based complaints or litigation?				X	
21	Are any areas of the property leased to outside occupants?				X	

Signature of Assessor

Signature of POC

Appendix C: Accessibility Review and Photos

Visual Survey - 2010 ADA Standards for Accessible Design

Property Name: The Laguna Playhouse

BV Project Number: 164043.24R000-018.354

Facility History & Interview					
Question		Yes	No	Unk	Comments
1	Has an accessibility study been previously performed? If so, when?	X			
2	Have any ADA improvements been made to the property since original construction? Describe.	X			
3	Has building management reported any accessibility-based complaints or litigation?			X	

The Laguna Playhouse: Accessibility Issues				
Category	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor Issues	None*
Parking				X
Exterior Accessible Route				X
Building Entrances				X
Interior Accessible Route	NA			
Elevators	NA			
Public Restrooms				X
Kitchens/Kitchenettes	NA			
Playgrounds & Swimming Pools	NA			
Other	NA			

**be cognizant that if the "None" box is checked that does not guarantee full compliance; this study is limited in nature*

The Laguna Playhouse: Photographic Overview



OVERVIEW OF ACCESSIBLE PARKING AREA



CLOSE-UP OF STALL



ACCESSIBLE PATH



ACCESSIBLE RAMP



ACCESSIBLE ENTRANCE



ADDITIONAL ENTRANCE

The Laguna Playhouse: Photographic Overview



TOILET STALL OVERVIEW



SINK, FAUCET HANDLES AND ACCESSORIES

Appendix D:

Component Condition Report

Component Condition Report | The Laguna Playhouse / The Laguna Playhouse

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Poor	Exterior Walls, Stucco, Prep & Paint	13,720 SF	1	7727880
B2020	Building Exterior	Poor	Glazing, any type, by SF	200 SF	2	7727824
B2020	Building exterior	Poor	Storefront, Glazing & Framing	2,200 SF	1	7908390
B2050	Building Exterior	Fair	Overhead/Dock Door, Steel, 20'x8'	1	10	7727782
B2050	Building Exterior	Poor	Exterior Door, Wood, Solid-Core Commercial	1	1	7727868
B2050	Building Exterior	Fair	Exterior Door, Steel, Commercial	6	20	7727760
Roofing						
B3010	Roof	Poor	Roofing, Built-Up	15,050 SF	1	7727893
B3060	Roof	Fair	Roof Skylight, per unit, up to 20 SF	11	5	7727819
Interiors						
C1090	Restrooms	Good	Toilet Partitions, Plastic/Laminate	9	15	7727795
C2010	Throughout building	Fair	Wall Finishes, any surface, Prep & Paint	24,580 SF	5	7727779
C2010	Restrooms	Good	Wall Finishes, Ceramic Tile	1,200 SF	35	7727835
C2030	Restrooms	Good	Flooring, Ceramic Tile	600 SF	35	7727771
C2030	Stage	Fair	Flooring, Luxury Vinyl Tile (LVT)	6,740 SF	8	7727821
C2030	Green Room	Poor	Flooring, Rubber Tile	1,130 SF	2	7727866
C2030	Throughout building	Poor	Flooring, Carpet, Commercial Standard	4,420 SF	2	7727890
C2050	Restrooms	Fair	Ceiling Finishes, any flat surface, Prep & Paint	600 SF	5	7727797
C2050	Throughout building	Fair	Ceiling Finishes, any flat surface, Prep & Paint	12,290 SF	5	7727762
Plumbing						
D2010	Janitor	Good	Water Heater, Electric, Residential	1	11	7727826
D2010	Dressing Rooms	Fair	Sink/Lavatory, Vanity Top, Solid Surface or Vitreous China	5	15	7727850
D2010	Restrooms	Good	Urinal, Standard	4	25	7727812
D2010	Janitor	Fair	Sink/Lavatory, Service Sink, Floor	1	20	7727790
D2010	Dressing Rooms	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	2	5	7727838
D2010	Throughout building	Poor	Plumbing System, Supply & Sanitary, Medium Density (excludes fixtures)	12,890 SF	0	7727769
D2010	Costume Shop	Fair	Water Heater, Gas, Residential	1	3	7727863
D2010	Restrooms	Good	Toilet, Commercial Water Closet	12	25	7727818
D2010	Restrooms	Good	Sink/Lavatory, Trough Style, Solid Surface	4	25	7727857
D2010	Dressing Rooms	Fair	Shower, Fiberglass	3	10	7727871
D2020	Green Room	Good	Pump, Sewage Ejector	1	13	7727786

Component Condition Report | The Laguna Playhouse / The Laguna Playhouse

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
HVAC						
D3030	Roof	Fair	Split System Ductless, Single Zone, 1.5 to 2 TON	1	5	7727806
D3050	Roof	Good	Packaged Unit, RTU, Pad or Roof-Mounted	1	17	7727777
D3050	Roof	Good	Packaged Unit, RTU, Pad or Roof-Mounted	1	15	7727859
D3050	Roof	Good	Packaged Unit, RTU, Pad or Roof-Mounted	1	13	7727831
D3050	Roof	Fair	Packaged Unit, RTU, Pad or Roof-Mounted	1	10	7727757
D3050	Roof	Good	Packaged Unit, RTU, Pad or Roof-Mounted	1	15	7727873
D3050	Roof	Good	Packaged Unit, RTU, Pad or Roof-Mounted	1	17	7727842
D3050	Roof	Good	Packaged Unit, RTU, Pad or Roof-Mounted	1	15	7727877
D3050	Roof	Good	HVAC System, Ductwork, Medium Density	5,160 SF	25	7727852
D3050	Roof	Good	Packaged Unit, RTU, Pad or Roof-Mounted	1	13	7727854
D3050	Roof	Good	Packaged Unit, RTU, Pad or Roof-Mounted	1	12	7727844
D3050	Roof	Good	Packaged Unit, RTU, Pad or Roof-Mounted	1	17	7727802
D3050	Roof	Fair	Packaged Unit, RTU, Pad or Roof-Mounted	1	11	7727800
D3050	Roof	Failed	HVAC System, Ductwork, Medium Density	7,730 SF	0	7727861
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 12" Damper	3	13	7727774
D3060	Roof	Good	Exhaust Fan, Centrifugal, 16" Damper	1	19	7727787
Fire Protection						
D4010	Throughout building	Fair	Fire Suppression System, Existing Sprinkler Heads, by SF	12,890 SF	5	7727753
Electrical						
D5020	Electrical room	Poor	Switchboard, 120/208 V	1	1	7727840
D5020	Utility closet	Fair	Distribution Panel, 120/208 V	1	10	7727829
D5020	Building exterior	Fair	Switchboard, 120/208 V, 1200 AMP	1	3	7727815
D5030	Throughout building	Poor	Electrical System, Wiring & Switches, Average or Low Density/Complexity	12,890 SF	0	7727767
D5040	Building exterior	Fair	Exterior Fixture w/ Lamp, any type, w/ LED Replacement	18	10	7727804
D5040	Throughout building	Fair	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	12,890 SF	10	7727745
Fire Alarm & Electronic Systems						
D7050	Throughout building	Poor	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	12,890 SF	2	7727883
D8010	Throughout building	Good	BAS/HVAC Controls, Basic System or Legacy Upgrades, Upgrade/Install	12,890 SF	13	7727886
Equipment & Furnishings						
E1030	Lobby	Fair	Sink/Lavatory, Commercial Kitchen, 2-Bowl	1	15	7727748
E1030	Utility closet	Fair	Foodservice Equipment, Icemaker, Freestanding	1	8	7727783
E1030	Lobby	Poor	Foodservice Equipment, Refrigerator, Undercounter 1-Door	1	2	7727750

Component Condition Report | The Laguna Playhouse / The Laguna Playhouse

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
E1030	Lobby	Poor	Foodservice Equipment, Refrigerator, Undercounter 1-Door	1	2	7727766
E1040	Throughout building	Good	Healthcare Equipment, Defibrillator (AED), Cabinet-Mounted	1	9	7727755
E1070	Stage	Fair	Theater & Stage Equipment, Flameproof Curtain, Medium Weight Velour	1,920 SF	8	7727792
E2010	Lobby	Poor	Casework, Countertop, Ceramic Tile	42 LF	2	7727847
E2010	Theater	Poor	Fixed Seating, Auditorium/Theater, Metal Cushioned Standard	407	2	7727895
E2010	Lobby	Fair	Casework, Cabinetry, Standard	42 LF	10	7727810
Follow-up Studies						
P2030	Throughout building	NA	Architectural Study, Building Envelope, Façade, Evaluate/Report	1	0	7836076
P2030	Throughout building	NA	Engineering Study, Electrical, General Design, Design	1	0	7836078

Component Condition Report | The Laguna Playhouse / Site

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Special Construction & Demo						
F1020	Site	Fair	Ancillary Building, Wood-Framed or CMU, Basic/Minimal	250 SF	15	7836173
Follow-up Studies						
P2030	Throughout building	NA	Engineering Study, Structural, Retaining Wall, Evaluate/Report	1	0	7836077

Appendix E: Replacement Reserves



BUREAU OF THE AUDITOR GENERAL
VERITAS

Replacement Reserves Report

8/14/2024

Location	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	Total Escalated Estimate
The Laguna Playhouse / Site	\$43,344	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$193,091	\$0	\$0	\$0	\$0	\$0	\$236,435
The Laguna Playhouse / The Laguna Playhouse	\$1,355,646	\$2,845,428	\$1,650,964	\$486,708	\$0	\$778,754	\$0	\$0	\$787,220	\$14,409	\$1,407,064	\$633,417	\$468,706	\$743,816	\$0	\$1,370,945	\$0	\$558,746	\$28,313	\$61,023	\$492,219	\$13,683,377
Grand Total	\$1,398,990	\$2,845,428	\$1,650,964	\$486,708	\$0	\$778,754	\$0	\$0	\$787,220	\$14,409	\$1,407,064	\$633,417	\$468,706	\$743,816	\$0	\$1,564,036	\$0	\$558,746	\$28,313	\$61,023	\$492,219	\$13,919,812

The Laguna Playhouse / Site

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost	w/ Markup *	Subtotal	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	Deficiency Repair Estimate											
F1020	7836173	Ancillary Building, Wood-Framed or CMU, Basic/Minimal, Replace	35	20	15	250	SF	\$60.00	\$371.52	\$92,880																\$92,880						\$92,880											
P2030	7836077	Engineering Study, Structural, Retaining Wall, Evaluate/Report	0	0	0	1	EA	\$7,000.00	\$43,344.00	\$43,344	\$43,344																					\$43,344											
Totals, Unescalated											\$43,344	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$136,224				
Totals, Escalated (5.0% inflation, compounded annually)											\$43,344	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$236,435

The Laguna Playhouse / The Laguna Playhouse

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost	w/ Markup *	Subtotal	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	Deficiency Repair Estimate		
B2010	7727880	Exterior Walls, Stucco, Prep & Paint	10	9	1	13720	SF	\$3.82	\$23.65	\$324,525		\$324,525																				\$649,050		
B2020	7727824	Glazing, any type, by SF, Replace	30	28	2	200	SF	\$55.00	\$340.56	\$68,112				\$68,112																			\$68,112	
B2020	7908390	Storefront, Glazing & Framing, Replace	30	29	1	2200	SF	\$55.00	\$340.56	\$749,232			\$749,232																				\$749,232	
B2050	7727868	Exterior Door, Wood, Solid-Core Commercial, Replace	30	29	1	1	EA	\$3,540.00	\$21,919.68	\$21,920				\$21,920																			\$21,920	
B2050	7727760	Exterior Door, Steel, Commercial, Replace	40	20	20	6	EA	\$4,060.00	\$25,139.52	\$150,837																							\$150,837	
B2050	7727782	Overhead/Dock Door, Steel, 20'x8', Replace	30	20	10	1	EA	\$6,300.00	\$39,009.60	\$39,010												\$39,010											\$39,010	
B3010	7727893	Roofing, Built-Up, Replace	25	24	1	15050	SF	\$14.00	\$86.69	\$1,304,654		\$1,304,654																					\$1,304,654	
B3060	7727819	Roof Skylight, per unit, up to 20 SF, Replace	30	25	5	11	EA	\$1,300.00	\$8,049.60	\$88,546							\$88,546																\$88,546	
C1090	7727795	Toilet Partitions, Plastic/Laminate, Replace	20	5	15	9	EA	\$750.00	\$4,644.00	\$41,796																							\$41,796	
C2010	7727779	Wall Finishes, any surface, Prep & Paint	10	5	5	24580	SF	\$1.50	\$9.29	\$228,299						\$228,299																	\$228,299	
C2030	7727866	Flooring, Rubber Tile, Replace	15	13	2	1130	SF	\$9.00	\$55.73	\$62,973			\$62,973																				\$62,973	
C2030	7727821	Flooring, Luxury Vinyl Tile (LVT), Replace	15	7	8	6740	SF	\$7.50	\$46.44	\$313,006									\$313,006														\$313,006	
C2030	7727890	Flooring, Carpet, Commercial Standard, Replace	10	8	2	4420	SF	\$7.50	\$46.44	\$205,265				\$205,265									\$205,265										\$205,265	
C2050	7727762	Ceiling Finishes, any flat surface, Prep & Paint	10	5	5	12290	SF	\$2.00	\$12.38	\$152,199						\$152,199																	\$152,199	
C2050	7727797	Ceiling Finishes, any flat surface, Prep & Paint	10	5	5	600	SF	\$2.00	\$12.38	\$7,430						\$7,430																	\$7,430	
D2010	7727863	Water Heater, Gas, Residential, Replace	15	12	3	1	EA	\$1,900.00	\$11,764.80	\$11,765						\$11,765																	\$11,765	
D2010	7727826	Water Heater, Electric, Residential, Replace	15	4	11	1	EA	\$900.00	\$5,572.80	\$5,573													\$5,573										\$5,573	
D2010	7727769	Plumbing System, Supply & Sanitary, Medium Density (excludes fixtures), Replace	40	40	0	12890	SF	\$11.00	\$68.11	\$877,964	\$877,964																						\$877,964	
D2010	7727838	Sink/Lavatory, Wall-Hung, Vitreous China, Replace	30	25	5	2	EA	\$1,500.00	\$9,288.00	\$18,576						\$18,576																	\$18,576	
D2010	7727871	Shower, Fiberglass, Replace	20	10	10	3	EA	\$1,600.00	\$9,907.20	\$29,722												\$29,722											\$29,722	
D2010	7727850	Sink/Lavatory, Vanity Top, Solid Surface or Vitreous China, Replace	30	15	15	5	EA	\$1,100.00	\$6,811.20	\$34,056																							\$34,056	
D2010	7727790	Sink/Lavatory, Service Sink, Floor, Replace	35	15	20	1	EA	\$800.00	\$4,953.60	\$4,954																							\$4,954	
D2020	7727786	Pump, Sewage Ejector, Replace	15	2	13	1	EA	\$3,280.00	\$20,309.76	\$20,310																	\$20,310						\$20,310	
D3030	7727806	Split System Ductless, Single Zone, 1.5 to 2 TON, Replace	15	10	5	1	EA	\$4,800.00	\$29,721.60	\$29,722							\$29,722																\$29,722	
D3050	7727861	HVAC System, Ductwork, Medium Density, Replace	30	30	0	7730	SF	\$4.00	\$24.77	\$191,457	\$191,457																						\$191,457	
D3050	7727757	Packaged Unit, RTU, Pad or Roof-Mounted, Replace	20	10	10	1	EA	\$45,000.00	\$278,640.00	\$278,640												\$278,640											\$278,640	
D3050	7727800	Packaged Unit, RTU, Pad or Roof-Mounted, Replace	20	9	11	1	EA	\$6,500.00	\$40,248.00	\$40,248													\$40,248										\$40,248	
D3050	7727844	Packaged Unit, RTU, Pad or Roof-Mounted, Replace	20	8	12	1	EA	\$9,000.00	\$55,728.00	\$55,728													\$55,728										\$55,728	
D3050	7727831	Packaged Unit, RTU, Pad or Roof-Mounted, Replace	20	7	13	1	EA	\$15,000.00	\$92,880.00	\$92,880															\$92,880								\$92,880	
D3050	7727854	Packaged Unit, RTU, Pad or Roof-Mounted, Replace	20	7	13	1	EA	\$9,000.00	\$55,728.00	\$55,728															\$55,728								\$55,728	
D3050	7727859	Packaged Unit, RTU, Pad or Roof-Mounted, Replace	20	5	15	1	EA	\$5,500.00	\$34,056.00	\$34,056																		\$34,056					\$34,056	
D3050	7727873	Packaged Unit, RTU, Pad or Roof-Mounted, Replace	20	5	15	1	EA	\$15,000.00	\$92,880.00	\$92,880																			\$92,880					\$92,880
D3050	7727877	Packaged Unit, RTU, Pad or Roof-Mounted, Replace	20	5	15	1	EA	\$9,000.00	\$55,728.00	\$55,728																			\$55,728					\$55,728
D3050	7727777	Packaged Unit, RTU, Pad or Roof-Mounted, Replace	20	3	17	1	EA	\$9,000.00	\$55,728.00	\$55,728																					\$55,728		\$55,728	

Replacement Reserves Report



8/14/2024

Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost	w/ Markup *	Subtotal	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	Deficiency Repair Estimate					
D3050	7727842	Packaged Unit, RTU, Pad or Roof-Mounted, Replace	20	3	17	1	EA	\$9,000.00	\$55,728.00	\$55,728																						\$55,728	\$55,728				
D3050	7727802	Packaged Unit, RTU, Pad or Roof-Mounted, Replace	20	3	17	1	EA	\$9,000.00	\$55,728.00	\$55,728																							\$55,728	\$55,728			
D3060	7727774	Exhaust Fan, Centrifugal, 12" Damper, Replace	25	12	13	3	EA	\$1,400.00	\$8,668.80	\$26,006													\$26,006										\$26,006	\$26,006			
D3060	7727787	Exhaust Fan, Centrifugal, 16" Damper, Replace	25	6	19	1	EA	\$2,400.00	\$14,860.80	\$14,861																							\$14,861	\$14,861			
D4010	7727753	Fire Suppression System, Existing Sprinkler Heads, by SF, Replace	25	20	5	12890	SF	\$1.07	\$6.63	\$85,402					\$85,402																			\$85,402	\$85,402		
D5020	7727840	Switchboard, 120/208 V, Replace	40	39	1	1	EA	\$50,000.00	\$309,600.00	\$309,600		\$309,600																						\$309,600	\$309,600		
D5020	7727815	Switchboard, 120/208 V, 1200 AMP, Replace	40	37	3	1	EA	\$66,000.00	\$408,672.00	\$408,672			\$408,672																						\$408,672	\$408,672	
D5020	7727829	Distribution Panel, 120/208 V, Replace	30	20	10	1	EA	\$2,000.00	\$12,384.00	\$12,384											\$12,384														\$12,384	\$12,384	
D5030	7727767	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	40	0	12890	SF	\$2.50	\$15.48	\$199,537	\$199,537																								\$199,537	\$199,537	
D5040	7727804	Exterior Fixture w/ Lamp, any type, w/ LED Replacement, Replace	20	10	10	18	EA	\$600.00	\$3,715.20	\$66,874												\$66,874													\$66,874	\$66,874	
D5040	7727745	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replace	20	10	10	12890	SF	\$4.50	\$27.86	\$359,167											\$359,167														\$359,167	\$359,167	
D7050	7727883	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	20	18	2	12890	SF	\$3.00	\$18.58	\$239,445			\$239,445																						\$239,445	\$239,445	
D8010	7727886	BAS/HVAC Controls, Basic System or Legacy Upgrades, Upgrade/Install	15	2	13	12890	SF	\$2.50	\$15.48	\$199,537													\$199,537												\$199,537	\$199,537	
E1030	7727766	Foodservice Equipment, Refrigerator, Undercounter 1-Door, Replace	15	13	2	1	EA	\$1,100.00	\$6,811.20	\$6,811			\$6,811																					\$6,811	\$13,622		
E1030	7727750	Foodservice Equipment, Refrigerator, Undercounter 1-Door, Replace	15	13	2	1	EA	\$1,100.00	\$6,811.20	\$6,811			\$6,811																					\$6,811	\$13,622		
E1030	7727783	Foodservice Equipment, Icemaker, Freestanding, Replace	15	7	8	1	EA	\$6,700.00	\$41,486.40	\$41,486								\$41,486																	\$41,486	\$41,486	
E1030	7727748	Sink/Lavatory, Commercial Kitchen, 2-Bowl, Replace	30	15	15	1	EA	\$2,100.00	\$13,003.20	\$13,003																\$13,003									\$13,003	\$13,003	
E1040	7727755	Healthcare Equipment, Defibrillator (AED), Cabinet-Mounted, Replace	10	1	9	1	EA	\$1,500.00	\$9,288.00	\$9,288									\$9,288																\$9,288	\$18,576	
E1070	7727792	Theater & Stage Equipment, Flameproof Curtain, Medium Weight Velour, Replace	15	7	8	1920	SF	\$15.00	\$92.88	\$178,330								\$178,330																	\$178,330	\$178,330	
E2010	7727847	Casework, Countertop, Ceramic Tile, Replace	30	28	2	42	LF	\$100.00	\$619.20	\$26,006			\$26,006																						\$26,006	\$26,006	
E2010	7727810	Casework, Cabinetry, Standard, Replace	20	10	10	42	LF	\$300.00	\$1,857.60	\$78,019											\$78,019														\$78,019	\$78,019	
E2010	7727895	Fixed Seating, Auditorium/Theater, Metal Cushioned Standard, Replace	20	18	2	407	EA	\$350.00	\$2,167.20	\$882,050			\$882,050																						\$882,050	\$882,050	
P2030	7836076	Architectural Study, Building Envelope, Façade, Evaluate/Report	0	0	0	1	EA	\$7,000.00	\$43,344.00	\$43,344	\$43,344																									\$43,344	\$43,344
P2030	7836078	Engineering Study, Electrical, General Design, Design	0	0	0	1	EA	\$7,000.00	\$43,344.00	\$43,344	\$43,344																									\$43,344	\$43,344
Totals, Unescalated											\$1,355,646	\$2,709,931	\$1,497,473	\$420,437	\$0	\$610,174	\$0	\$0	\$532,822	\$9,288	\$863,815	\$370,346	\$260,993	\$394,461	\$0	\$659,448	\$0	\$243,779	\$11,765	\$24,149	\$185,512	\$10,150,038					
Totals, Escalated (5.0% inflation, compounded annually)											\$1,355,646	\$2,845,428	\$1,650,964	\$486,708	\$0	\$778,754	\$0	\$0	\$787,220	\$14,409	\$1,407,064	\$633,417	\$468,706	\$743,816	\$0	\$1,370,945	\$0	\$558,746	\$28,313	\$61,023	\$492,219	\$13,683,377					

Appendix F: Equipment Inventory List

D20 Plumbing													
Index	ID	UFCODE	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
1	7727826	D2010	Water Heater	Electric, Residential	40 GAL	The Laguna Playhouse / The Laguna Playhouse	Janitor	Bradford White	RE240S6-1NCWW	WK46787331	2020		1
2	7727863	D2010	Water Heater	Gas, Residential	75 GAL	The Laguna Playhouse / The Laguna Playhouse	Costume Shop	Bradford White	M2XR7586EN10	YM2425095	2003		1
3	7727786	D2020	Pump	Sewage Ejector	3 HP	The Laguna Playhouse / The Laguna Playhouse	Green Room	Inaccessible	Inaccessible	Inaccessible			1
D30 HVAC													
Index	ID	UFCODE	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
1	7727806	D3030	Split System Ductless	Single Zone, 1.5 to 2 TON	2 TON	The Laguna Playhouse / The Laguna Playhouse	Roof	Gree	NE024HP230V1A0	63229948513	2014		1
2	7727777	D3050	Packaged Unit	RTU, Pad or Roof-Mounted	4 TON	The Laguna Playhouse / The Laguna Playhouse	Roof	Carrier	50FCQA05A2A5A0A0A0	1021C70594	2021		1
3	7727859	D3050	Packaged Unit	RTU, Pad or Roof-Mounted	2 TON	The Laguna Playhouse / The Laguna Playhouse	Roof	Carrier	50VT-C2430TP	1619C28776	2019		1
4	7727831	D3050	Packaged Unit	RTU, Pad or Roof-Mounted	7.5 TON	The Laguna Playhouse / The Laguna Playhouse	Roof	Carrier	50TCQD08A2A5A0A0A0	4917P35590	2017		1
5	7727757	D3050	Packaged Unit	RTU, Pad or Roof-Mounted	25 TON	The Laguna Playhouse / The Laguna Playhouse	Roof	Carrier	48HCDD28C7A5A0A0G0	4114P15470	2014		1
6	7727873	D3050	Packaged Unit	RTU, Pad or Roof-Mounted	7.5 TON	The Laguna Playhouse / The Laguna Playhouse	Roof	Carrier	50TCQD08A2A5A0A0A0	No dataplate	2019		1
7	7727842	D3050	Packaged Unit	RTU, Pad or Roof-Mounted	4 TON	The Laguna Playhouse / The Laguna Playhouse	Roof	Carrier	50VT-C48-50-	2121F46905	2021		1
8	7727877	D3050	Packaged Unit	RTU, Pad or Roof-Mounted	4 TON	The Laguna Playhouse / The Laguna Playhouse	Roof	Carrier	50VT-C48-50-	1319C48154	2019		1
9	7727854	D3050	Packaged Unit	RTU, Pad or Roof-Mounted	4 TON	The Laguna Playhouse / The Laguna Playhouse	Roof	Carrier	50VT-C48---50--	2817C30874	2017		1
10	7727844	D3050	Packaged Unit	RTU, Pad or Roof-Mounted	4 TON	The Laguna Playhouse / The Laguna Playhouse	Roof	Carrier	50EZ-A48---50--	3316C35805	2016		1
11	7727802	D3050	Packaged Unit	RTU, Pad or Roof-Mounted	4 TON	The Laguna Playhouse / The Laguna Playhouse	Roof	Carrier	50VT-C48-50-	2421F46923	2021		1
12	7727800	D3050	Packaged Unit	RTU, Pad or Roof-Mounted	2.5 TON	The Laguna Playhouse / The Laguna Playhouse	Roof	Rheem	RQPL-B030JK 000	F441500524	2015		1
13	7727774	D3060	Exhaust Fan	Centrifugal, 12" Damper	200 CFM	The Laguna Playhouse / The Laguna Playhouse	Roof	No dataplate	No dataplate	No dataplate			3
14	7727787	D3060	Exhaust Fan	Centrifugal, 16" Damper	1800 CFM	The Laguna Playhouse / The Laguna Playhouse	Roof	Greenheck	6-200-10-V6-1-30-X	18913293	2018		1
D50 Electrical													

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
1	7727840	D5020	Switchboard	120/208 V	800 AMP	The Laguna Playhouse / The Laguna Playhouse	Electrical room						1
2	7727815	D5020	Switchboard	120/208 V, 1200 AMP	1200 AMP	The Laguna Playhouse / The Laguna Playhouse	Building exterior	Pacific Electric, INC	04212	NA	1988		1
3	7727829	D5020	Distribution Panel	120/208 V	200 AMP	The Laguna Playhouse / The Laguna Playhouse	Utility closet				2004		1

E10 Equipment

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
1	7727783	E1030	Foodservice Equipment	Icemaker, Freestanding		The Laguna Playhouse / The Laguna Playhouse	Utility closet	Ice-O-Matic	Inaccessible	Inaccessible			1
2	7727750	E1030	Foodservice Equipment	Refrigerator, Undercounter 1-Door		The Laguna Playhouse / The Laguna Playhouse	Lobby	Inaccessible	Inaccessible	Inaccessible			1
3	7727766	E1030	Foodservice Equipment	Refrigerator, Undercounter 1-Door		The Laguna Playhouse / The Laguna Playhouse	Lobby	Inaccessible	Inaccessible	Inaccessible			1
4	7727748	E1030	Sink/Lavatory	Commercial Kitchen, 2-Bowl		The Laguna Playhouse / The Laguna Playhouse	Lobby						1
5	7727755	E1040	Healthcare Equipment	Defibrillator (AED), Cabinet-Mounted		The Laguna Playhouse / The Laguna Playhouse	Throughout building				2023		1